



WINNETKA ZONING BOARD OF APPEALS REGULAR VIRTUAL MEETING AGENDA MONDAY, JANUARY 10, 2022 - 7:00 PM

In accordance with social distancing requirements and Governor Pritzker's Executive Order 2021-32 and Section 7(e) of the Illinois Open Meetings Act, the Winnetka Zoning Board of Appeals meeting on Monday, January 10, 2022 **will be held virtually**. The meeting **will be livestreamed via the Zoom platform**. At least one representative from the Village will be present at Village Hall, in compliance with Section 7(e) of the Illinois Open Meetings Act, and **the virtual meeting will be simulcast at Village Hall for members of the public who do not wish to view the virtual meeting from another location**. Due to the need to maintain social distancing, the opportunity to view the virtual meeting at Village Hall is available on a "first-come, first-served" basis.

The public has two options for observing and participating in this virtual Zoning Board of Appeals meeting, including the ability to provide oral comments during the meeting. Persons wishing to participate during the virtual meeting are strongly encouraged (but not required) to complete the Sign-In form found at www.villageofwinnetka.org/meetingsignin.

- 1) **Telephone (audio only)**. Call: 312-626-6799; when prompted enter the Webinar ID: 839 1023 1224 (Please note there is no additional passcode or attendee ID required.)
- 2) **Livestream (both audio and video feed)**. Download the Zoom meetings app to your smart phone, tablet, or computer, and then join Webinar ID: 839 1023 1224; Webinar Passcode: ZBA011022

To facilitate an efficient meeting, public comments submitted in advance are encouraged. If you wish to **provide testimony or comments prior to the meeting**, you may provide them one of three ways:

- 1) By sending **an email** to planning@winnetka.org;
- 2) By sending **a letter** to Community Development Department, Village of Winnetka, 510 Green Bay Road, Winnetka, IL 60093; or
- 3) By leaving **a voice mail message** at the phone number 847-716-3524. All voicemail messages will be transcribed into a written format.

Public comments should contain the following information:

- In the subject line – "Zoning Board of Appeals Meeting Public Comment"
- Name
- Address (optional)
- Phone (optional)
- Organization or agency representing, if applicable
- General comment or comment on topic of specific agenda item number

All comments received after the agenda packet has been posted and received by 6:00 PM the day of the meeting will be read at the meeting by staff, at the appropriate time during the meeting. General comments for matters not on the agenda will be read under the Public Comment agenda item. Comments specific to a particular agenda item will be read during the discussion of that agenda item. The Village will attempt to have comments received after the meeting has started read at the end of the meeting. Public comment is limited to 200 words or less. All emails received will be acknowledged either during or after the meeting, depending on when they are received.

Persons seeking additional information concerning any of the applications, accessing the virtual meetings, or requesting alternative means to provide testimony or public comment are directed to email inquiries to planning@winnetka.org or by calling 847-716-3525.

**ZONING BOARD OF APPEALS REGULAR VIRTUAL MEETING AGENDA
MONDAY, JANUARY 10, 2022 - 7:00 PM**

AGENDA ITEMS

1. Call to Order & Roll Call.
2. Introductory Remarks Regarding Conduct of Virtual Meeting.
3. Approval of Minutes – December 13, 2021.
4. **Case No. 22-01-V: 335 Sheridan Road:** An application submitted by Doug and Karen Kiersey seeking approval of zoning variations to allow construction of a one-story addition to the existing residence at 335 Sheridan Road. The requested zoning variations would permit the addition to (i) provide less than the minimum required front yard setback from the west property line; (ii) provide less than the minimum required side yard setback from the south property line; and (iii) exceed the maximum permitted width for a front-facing attached garage door. The Zoning Board of Appeals has final jurisdiction on this request.
5. **Case No. 22-02-V2: 455 Linden Street:** An application submitted by Linden Winnetka LLC seeking approval of zoning variations to allow construction of a new four-unit multi-family residential building with below grade structured parking at 455 Linden Street. The requested zoning variations would permit the proposed building to (i) exceed the maximum permitted roofed lot coverage; (ii) provide less than the minimum required corner yard setback from Cherry Street to accommodate the below grade structured parking; and (iii) provide less than the minimum required side yard setback from the north property line to accommodate the below grade structured parking. The Village Council has final jurisdiction on this request.
6. Other Business.
 - a. Community Development Report
 - b. February 14, 2022, Meeting - Quorum check
7. Public Comment.
8. Adjournment

Note: Public comment is permitted on all agenda items.

All agenda materials are available at www.villageofwinnetka.org/agendacenter.

NOTICE

The Village of Winnetka, in compliance with the Americans with Disabilities Act, requests that all persons with disabilities, who require certain accommodations to allow them to observe and/or participate in this meeting or have questions about the accessibility of the meeting or facilities contact the Village ADA Coordinator at 510 Green Bay Road, Winnetka, Illinois 60093, (Telephone (847) 716-3543; T.D.D. (847) 501-6041). **Also, in accordance with the CDC guidance, the Village is requiring everyone to wear a face covering upon entering any Village facility, including the Village Hall. If you are unable to safely wear a face covering due to a medical condition or disability, please contact the Village ADA Coordinator by 3:00 p.m. the date of the meeting to request reasonable accommodations.**

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48

**WINNETKA ZONING BOARD OF APPEALS MEETING MINUTES
DECEMBER 13, 2021**

Zoning Board Members Present: Matt Bradley, Chairman
Kate Casale MacNally
Lynn Hanley
Mike Nielsen
Todd Vender
Max Weigandt

Zoning Board Members Absent: Kimberly Handler

Village Staff: David Schoon, Director of Community Development
Ann Klaassen, Senior Planner

**Minutes of the Zoning Board of Appeals
December 13, 2021**

Call to Order & Roll Call:

Chairman Bradley called the meeting to order at 7:02 p.m. Ms. Klaassen took roll call of the Board Members present.

Approval of November 8, 2021 meeting minutes.

Chairman Bradley asked for a motion to approve the November 8, 2021 meeting minutes. A motion was made by Ms. Hanley and seconded by Ms. Casale MacNally to approve the November 8, 2021 meeting minutes. A vote was taken and the motion unanimously passed, 6 to 0:

AYES: Bradley, Casale MacNally, Hanley, Nielsen, Vender, Weigandt

NAYS: None

Case No. 21-34-V2: 925 Elm Street (Continued from the November 8, 2021 meeting): The applicant has withdrawn the application; therefore, the Board will not take any action on this item.

Chairman Bradley noted this agenda item has been removed.

Case No. 21-37-V2: 2 Golf Lane: An application submitted by James Allen seeking approval of a zoning variation to allow the construction of a one story addition to the existing residence at 2 Golf Lane. The requested variation would permit the addition to provide less than the minimum required front yard setback from Hill Road. The Village Council has final jurisdiction on this request.

Ms. Klaassen described the proposed setback from Hill Road being requested noting the site currently observed a 19.19 foot setback. She then identified the property's location, zoning classification and photos. Ms. Klaassen then described the proposed one story addition and its location in an illustration and referred to several variations requested over the years due to the property's site location. She also referred to an illustration of the proposed mudroom, front and west elevations. Ms. Klaassen then stated following Board discussion and public comment, a Board Member may make a motion to recommend approval or denial noting no public comment has been received. She asked if there were any questions.

Chairman Bradley asked if the variations all relate to the front yard setback noting the property is otherwise compliant. Ms. Klaassen confirmed that is correct.

1 Chairman Bradley swore in those speaking to this matter. James and Mary Allen introduced themselves
2 to the Board. Mr. Allen stated the request related to the home's north portion addition of 10 feet of space
3 for a mudroom. He stated a number of exterior improvements were also made and stated the home would
4 be their forever home as their family grows. Chairman Bradley asked if there is a unique reason for the
5 mudroom's location and referred to Figure 8. Mrs. Allen responded the mudroom would be situated near
6 the kitchen entry as well as leading to the basement and is the home's primary entrance. She also stated
7 it would not disrupt the home's architectural integrity. Mrs. Allen also confirmed they discussed it with
8 their architect and there is no other alternative which would not affect the home's architectural integrity.
9

10 Ms. Casale MacNally then described the property as uniquely shaped and asked when construction would
11 start, its length and construction traffic noting the property's proximity to the church. Mrs. Allen
12 responded there is a large parking pad on the east side of the property and a driveway which can be used
13 to accommodate construction traffic. She stated they would time their currently approved kitchen
14 remodel project with the proposed addition with the anticipated construction to be completed by the
15 spring. Ms. Hanley asked what the height of the masonry fence on Hill Road is. Mrs. Allen estimated it to
16 be 6 feet. Ms. Hanley asked if the kitchen exhaust would have to be moved and Mrs. Allen confirmed that
17 is correct.
18

19 Chairman Bradley asked if there were any other questions from the Board or the audience. No additional
20 questions were raised at this time. He then called the matter in for discussion.
21

22 Ms. Casale MacNally stated she would be in favor of the request although a mudroom is not required for
23 reasonable return and the request met the remaining standards adding the proposed addition would also
24 be well hidden. Mr. Vender, Mr. Weigandt and Ms. Hanley agreed with the comments made and stated
25 they are also in favor of the request. Mr. Nielsen stated while the reasonable return standard has not
26 been met, he indicated he is indifferent. Chairman Bradley stated in the case of insurmountable
27 nonconformities, there is no way any changes can be done to the home without requiring a variation. He
28 stated since the home is otherwise in compliance, he referred to the typical approval by the Board of
29 requests in similar situations and he would be in favor of the request. Chairman Bradley then asked for a
30 motion as indicated on page 8.
31

32 A motion was made by Ms. Casale MacNally to recommend approval of the request as stated on page 8
33 of the staff report and seconded by Mr. Nielsen. A vote was taken and the motion unanimously passed, 6
34 to 0:

35 AYES: Bradley, Casale MacNally, Hanley, Nielsen, Vender, Weigandt

36 NAYS: None
37

38 **Case No. 21-28-SU: 784 Sheridan Road – Christ Church Winnetka: An application submitted by Christ**
39 **Church Winnetka seeking approval of an amendment to an existing special use permit, which allowed**
40 **expansion of the Christ Church facilities. The requested amendment would allow the installation of a**
41 **playground at 784 Sheridan Road. The Village Council has final jurisdiction on this request.**

42 Ms. Casale MacNally informed the Board of her affiliation with the applicant. Ms. Klaassen stated the
43 request is for a playground and identified the property's location, zoning classification and noted a church
44 is allowed as a special use in residential areas. She then stated the church has been in existence in this
45 location since at least 1869 and identified the proposed playground's location and neighboring properties
46 in an illustration as well as its size, colors and materials in a rendering. Ms. Klaassen noted the
47 playground's use would be for younger children during church events. She also noted the proposed
48 improvements comply with zoning regulations with the Plan Commission to consider the request at their

1 next meeting. Ms. Klaassen stated following Board discussion and public comment, a Board Member may
2 make a motion to recommend approval or denial and noted no public comment was received. She then
3 asked if there were any questions.
4

5 Chairman Bradley also asked if there were any questions. No questions were raised at this time. Chairman
6 Bradley then swore in those speaking to this matter. Patty Lea, a representative of the church, and Chuck
7 Gardener with New Toys Leisure Products introduced themselves to the Board. Ms. Lee stated as a result
8 of the church's capital campaign, a playground was identified as a desire for the church and the need to
9 have a designated play space. She referred to the amount of time spent outside as a result of COVID and
10 that they considered various locations. Ms. Lea also referred to the Park District's use of New Toys which
11 performed various playground installations in the Village. She then identified the proposed location and
12 its use by younger children which would not affect the memorial garden. She noted there would be a
13 gravel path and stepping stones with the 12 foot setback from the fence being maintained.
14

15 Chairman Bradley referred to the rendering in Figure 9 and asked how many children they expect to use
16 the equipment. Ms. Lea responded they estimated that the 20-30 children who attend Sunday school
17 would use it. Ms. Hanley asked if they only planned for the church's parishioners to use the equipment
18 and Ms. Lea confirmed that is correct. Ms. Hanley then questioned the memorial garden's location which
19 Ms. Lea identified for the Board. Ms. Hanley then asked if the proposal was discussed with the neighbors
20 and Ms. Lea responded they received no comments from the neighbors. She noted the neighbors' fence
21 was replaced by the church. Ms. Lea also identified the existing patio on page 13 which is the primary
22 location of where time is spent outside by parishioners. Ms. Hanley then asked Ms. Klaassen if there a
23 height limit for playground equipment and Ms. Klaassen explained the height requirements for
24 playground equipment.
25

26 Chairman Bradley asked if there are other churches in the area which have requested playground
27 equipment. Ms. Lea responded New Trier Church and Joyful Noise have playground equipment. Chairman
28 Bradley referred to the standard relating to enjoyment and noise. Ms. Lea stated that the noise condition
29 currently existed as the children currently play outside. Chairman Bradley then asked if there were any
30 other questions from the Board or the audience. No additional questions were raised at this time.
31

32 Chairman Bradley then called the matter in for discussion and referred to the draft motion on page 8. Ms.
33 Hanley noted the playground's proximity to the neighbors is not before the Board. Ms. Casale MacNally
34 referred to the fact that the playground would not be used in conjunction with the day care and referred
35 to its location and the fact no neighbors are concerned. She then agreed the special use permit standards
36 have been met. Mr. Weigandt agreed with the comments made and stated he is also in support. Mr.
37 Vender agreed with the comments made. Mr. Nielsen referred to parking issues and stated he is also in
38 support. Chairman Bradley stated he is also in support and referred to the playground's potential
39 increased use and asked for a motion to recommend approval as indicated on page 8.
40

41 A motion was made by Ms. Casale MacNally and seconded by Mr. Nielsen to recommend approval of the
42 request as stated on page 8 of the staff report. A vote was taken and the motion unanimously passed, 6
43 to 0:

44 AYES: Bradley, Casale MacNally, Hanley, Nielsen, Vender, Weigandt

45 NAYS: None
46

47 **Other Business.**

- 48 a. Community Development Report.

1 Mr. Schoon advised the Board of the status of the One Winnetka planned development. He identified the
2 lender for the previous project is now the new owner who is working with the former developer and John
3 Murphy Development on a new plan for the site. Mr. Schoon noted Conney's Pharmacy is not part of the
4 redevelopment and the former Phototronic's site would not be redeveloped but would be reused. He
5 noted other specifics relating to the potential plan's size, height and number of units. He informed the
6 Board of the Village Trustee's individual comments on the proposal and the next steps in the planned
7 development process.
8

9 b. Comprehensive Plan Status Update.

10 Mr. Schoon informed the Board that the Plan Commission held a special meeting on December 1, 2021 to
11 review the Existing Conditions Report presented by the consultants. He stated the report would be
12 presented to the Village Council at tomorrow's meeting with the next step being the visioning phase to
13 occur over the next several months.
14

15 c. January 10, 2022 Meeting – Quorum check.

16 The Board Members discussed their availability.
17

18 **Public Comment.**

19 No members of the public were present to comment.
20

21 **Adjournment:**

22 A motion to adjourn was made by Ms. Hanley and seconded by Ms. Casale MacNally. A vote was taken
23 and the motion unanimously passed, 6 to 0:

24 AYES: Bradley, Casale MacNally, Hanley, Nielsen, Vender, Weigandt

25 NAYS: None
26

27 The meeting adjourned at 7:52 p.m.
28

29 Respectfully submitted,
30

31 Antionette Johnson
32 Recording Secretary



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: ANN KLAASSEN, SENIOR PLANNER
DATE: JANUARY 5, 2022
SUBJECT: 335 SHERIDAN ROAD - VARIATIONS (CASE NO. 22-01-V)

INTRODUCTION

On January 10, 2022, the Zoning Board of Appeals is scheduled to hold a virtual public hearing, in accordance with social distancing requirements and Governor Pritzker's Executive Orders and Section 7(e) of the Illinois Open Meetings Act, on an application submitted by Doug and Karen Kiersey (collectively, the "Applicant") as the owners of the property located at 335 Sheridan Road (the "Subject Property"). The Applicant requests approval of the following zoning variations to allow construction of a one-story addition to the existing residence on the Subject Property:

1. Front Yard Setback of 25.85 feet from the west property line, whereas a minimum of 50 feet is required, a variation of 24.15 feet (48.3%) [Section 17.30.050 – Front and Corner Yard Setbacks] [Note: The residence currently provides a front yard setback of 34.69 feet.];
2. Side Yard Setback of 6.3 feet from the south property line, whereas a minimum of 7.1 feet is required, a variation of 0.8 feet (11.27%) [Section 17.30.060 – Side Yard Setback] [Note: The residence currently provides a south side yard setback of 5.78 feet.]; and
3. Front-facing attached garage door width of 16 feet, whereas a maximum width of 9 feet is permitted for an individual door, a variation of 7 feet (77.78%) [Section 17.30.110 – Garages] [Note: The residence currently has a front-facing attached garage door that is 16-feet wide.].

A mailed notice was sent to property owners within 250 feet of the Subject Property in compliance with the Zoning Ordinance. The hearing was properly noticed in the *Winnetka Talk* on December 23, 2021. As of the date of this memo, staff has not received any written comment from the public regarding this application.

The Zoning Board of Appeals has final jurisdiction on this request as the Board has the authority to grant variations to (i) reduce a front yard setback for any principal building by no more than 50%; and (ii) reduce a side yard setback for any principal building by no more than 50%. Typically, the Zoning Administrator has final jurisdiction on requests to exceed the permitted width for front-facing garage doors, however; since this request includes additional zoning relief for which the Zoning Administrator does not have jurisdiction, the Board also has final jurisdiction on the request to exceed the permitted width for a front-facing garage door.

PROPERTY DESCRIPTION

The Subject Property, which is approximately 0.46 acres in size, is located on the east side of Sheridan Road, between Willow Road and Hawthorn Lane, and contains an existing three-story residence (see

Figure 1). The property is zoned R-2 Single Family Residential, and it is surrounded by R-2 Single Family Residential (see Figure 2). The Comprehensive Plan designates the Subject Property as appropriate for single family residential development. The zoning of the property is consistent with the Comprehensive Plan.

The existing lot is a legal non-conforming lakefront lot that is 20,277 square feet in lot area, while the minimum required lot area for an interior lot in the R-2 District is 24,000 square feet. Also, the minimum required average lot width is 100 feet, while the existing lot is only 70.9 feet in width.



Figure 1 – Aerial Map



Figure 2 – Zoning Map

PROPERTY HISTORY AND PREVIOUS ZONING APPLICATIONS

The residence and attached garage were built in 1923. The following subsequent building permits were issued in:

1. 1947 to construct a one-story addition to the residence;
2. 1985 to construct a family room addition and remodel the interior of the residence;
3. 1995 to construct a mudroom and elevator tower addition to the residence;
4. 2002 to construct a third-floor addition to the residence;
5. 2016 to remodel the second-floor master bedroom, bath and closet; and
6. 2018 to install exterior hardscape improvements.

Other minor permits have been issued over the last several years. The Applicant acquired the property in March 2014.

There are four previous zoning cases on file for the Subject Property:

1. Ordinance 422-95 was adopted in May 1995 by the Village Council, granting a variation to allow an addition to provide a mudroom and elevator access to the upper floors of the residence within the required front yard setback;
2. Ordinance M-4-2002 was adopted in March 2002 by the Village Council, granting a variation to allow an addition to (i) exceed the maximum permitted building height of 2½-stories; and (ii) encroach the minimum required south side yard setback. Ordinances M-422-95 and M-4-2002 are included in this report as Attachment D;
3. Case No. 14-24-ZA was approved in October 2014 by the Zoning Administrator, allowing new first floor windows in the nonconforming south side building wall; and
4. Case No. 16-18-ZA was approved in September 2016 by the Zoning Administrator, allowing two new second floor windows in the nonconforming south side building wall.

Figure 3 below is a current photo of the site.



Figure 3 – Subject Property

Location of
Proposed
One-Story
Addition

PROPOSED PLAN

The variations are being requested in order to construct a one-story addition, consisting of an expanded mudroom (8.75 feet by 7 feet) and an expansion of the existing attached garage (8 feet by 17.75 feet). The addition would be located on the west side of the residence, which is a front yard for zoning purposes, adding 207 square feet of GFA and roofed lot coverage. The proposed addition is basically an 8-foot deep westerly extension of the existing mudroom and garage.

Excerpts of the proposed site plan, floor plan, building elevations, and a rendering are provided below and on the following pages as Figures 4 through 9. The complete set of plans is provided in the application materials (Attachment C).

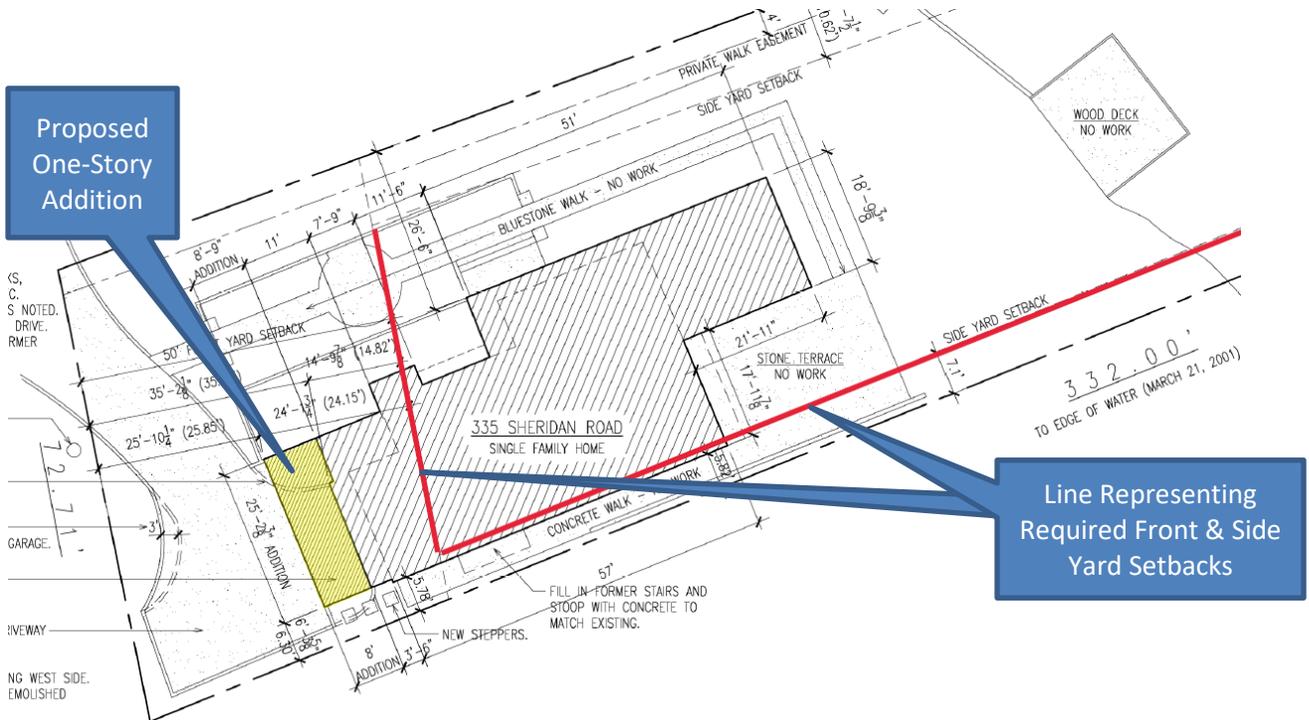


Figure 4 – Excerpt of Site Plan

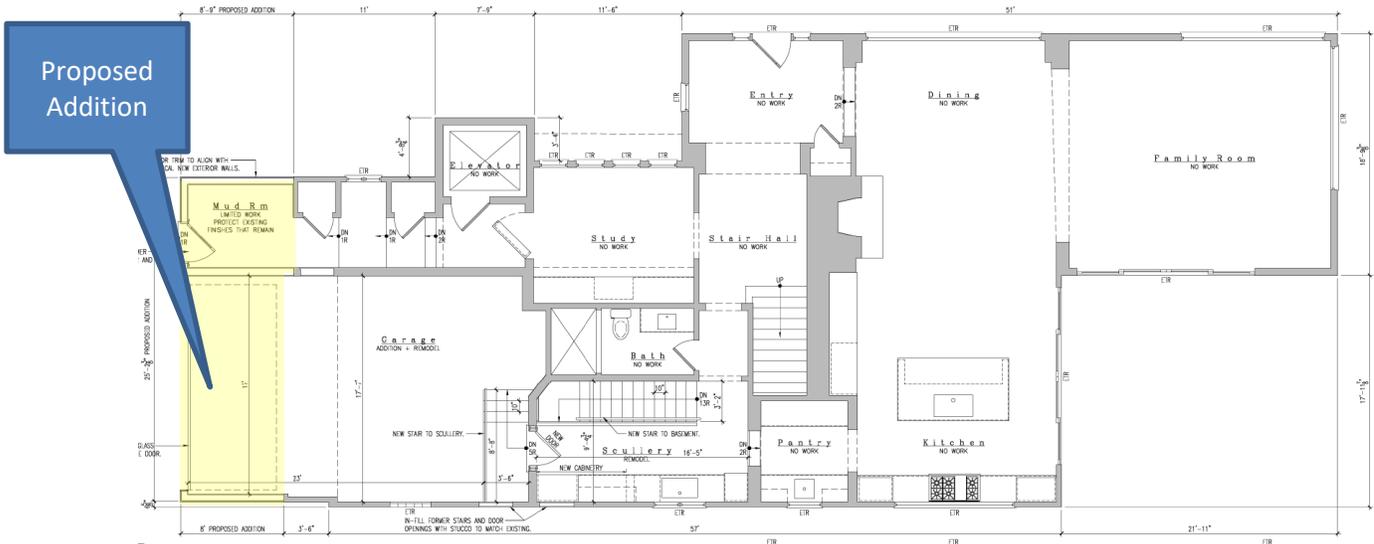


Figure 5 – Proposed First Floor Plan

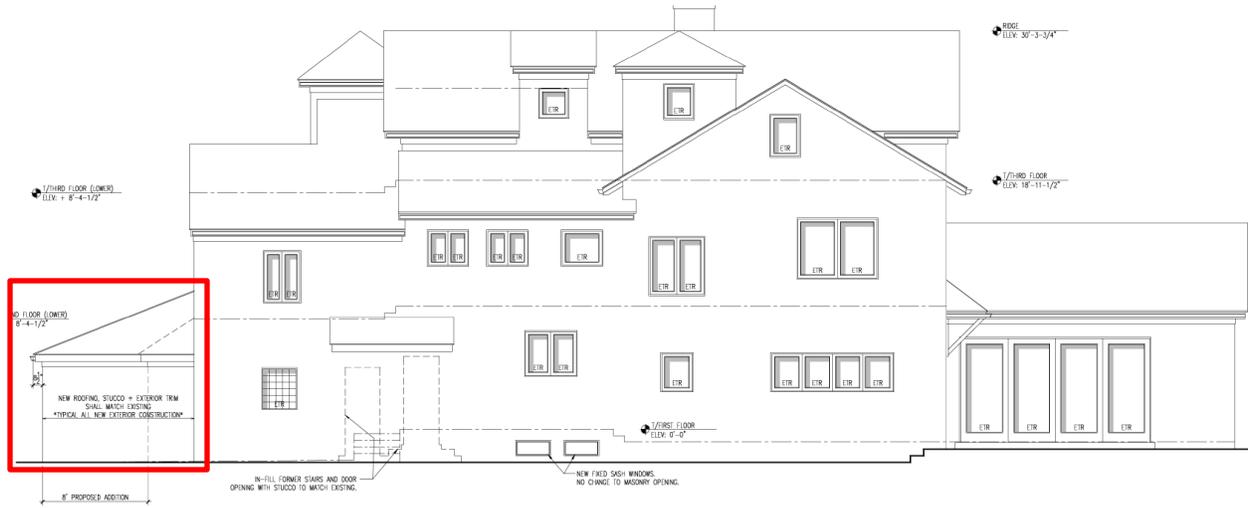


Figure 6 – Proposed South Elevation

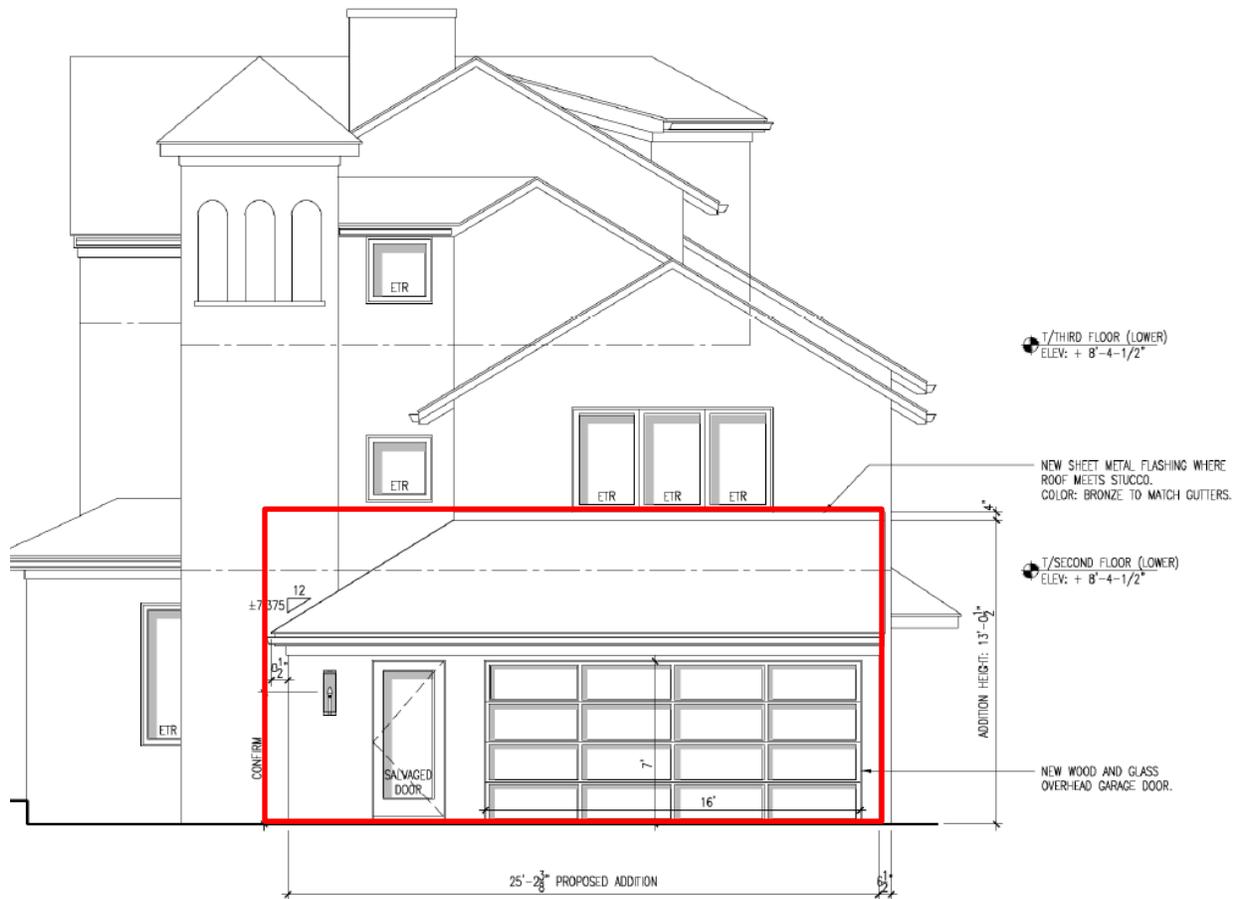


Figure 7 – Proposed West (Front) Elevation



PROPOSED NORTH ELEVATION
Figure 8 – Proposed North Elevation



Figure 9 – Rendering of Proposed Addition

Given the ZBA often receives questions regarding the stormwater regulations applicable to a specific request being considered by the ZBA, attached is a Stormwater Matrix (Attachment B). Based on the proposed plan, it appears additional stormwater detention would not be required. However, a final determination will be made by Village Engineering staff. Figure 10 below represents the Subject Property's proximity to the floodplain; the cyan represents the 100-year flood area.

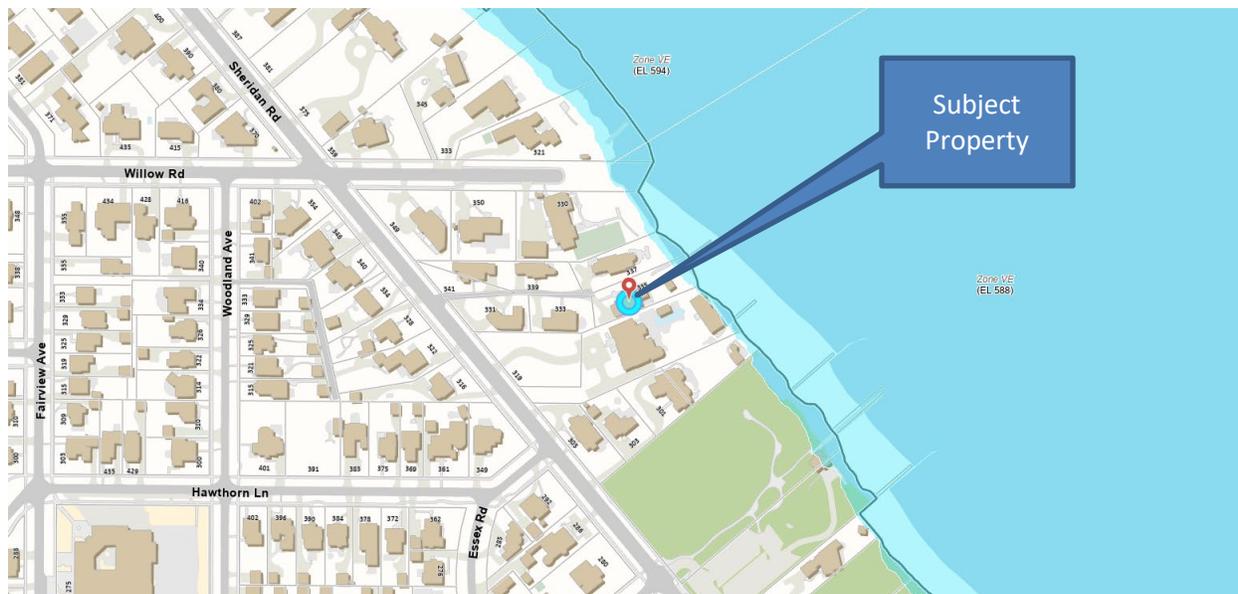


Figure 10 - GIS Floodplain Map

REQUESTED ZONING RELIEF

The attached zoning matrix highlights the existing lot and the proposed improvement's compliance with the R-2 zoning district (Attachment A). Three variations are being requested: (1) minimum front yard setback; (2) minimum side yard setback; and (3) maximum front-facing attached garage door width.

Front Yard Setback (West). The existing residence is legally nonconforming with respect to the required front yard setback as it currently provides a front yard setback of 34.69 feet, encroaching the minimum required setback of 50 feet by 15.31 feet. The proposed addition would provide a front yard setback of 25.85 feet, requiring a variation of 24.15 feet (48.3%).

Side Yard Setback (South). The existing residence is also legally nonconforming with respect to the minimum required side yard setback as is currently provides a south side yard setback of 5.78 feet, encroaching the minimum required setback of 7.1 feet by 1.32 feet. The proposed addition would provide a south side yard setback of 6.3 feet, requiring a variation of 0.8 feet (11.27%).

Front-Facing Attached Garage Door Width. The existing residence currently has a front-facing attached garage, measuring 17.82 feet in width with a legally nonconforming garage door measuring 16 feet in width, exceeding the maximum permitted individual garage door width of 9 feet. The proposed garage door would also be 16 feet in width. The Zoning Ordinance allows a maximum of two individual 9-foot wide garage doors.

FINDINGS

In the attached application materials submitted by the Applicant, the Applicant has provided a statement of justification regarding how the requested variations meet the standards for granting the requested

zoning variations. Does the ZBA find that the requested variations meet the standards for granting such variations; and if so, is the ZBA prepared to approve the requested variations?

Staff has prepared the attached draft resolutions for the Board's consideration (Attachment E). One resolution approves the request, while the other denies the request. A Board member may wish to make a motion to adopt either the resolution to approve the requested variations or the resolution to deny the requested variations.

ATTACHMENTS

Attachment A: Zoning Matrix

Attachment B: Stormwater Matrix

Attachment C: Application Materials

Attachment D: Ordinance M-422-95, adopted May 2, 1995 and Ordinance M-4-2002, adopted March 19, 2002

Attachment E: Draft Resolutions

ATTACHMENT A

ZONING MATRIX

ADDRESS: 335 Sheridan Road

CASE NO: 22-01-V

ZONING: R-2

ITEM	MIN/MAX REQUIREMENT	EXISTING	PROPOSED	DIFFERENCE BETWEEN PROPOSED & EXISTING	ZONING CODE COMPLIANCE (2)
Min. Lot Size	24,000 SF	20,277 SF	N/A	N/A	EXISTING NONCONFORMING
Min. Average Lot Width	100 FT	70.9 FT	N/A	N/A	EXISTING NONCONFORMING
Min. Lot Depth	200 FT	286 FT	N/A	N/A	OK
Max. Roofed Lot Coverage	5,069.25 SF (1)	2,436.63 SF	2,643.76 SF	207.13 FT	OK
Max. Gross Floor Area	6,304.02 SF (1)	4,910.4 SF	5,117.53 SF	207.13 FT	OK
Max. Impermeable Lot Coverage	10,138.5 SF (1)	5,216.27 SF	5,409.21 SF	192.94 FT	OK
Min. Front Yard (West/Private Road)	50 FT	34.69 FT	25.85 FT	(8.84) FT	24.15 FT (48.3%) VARIATION
Min. Through Lot Front Yard (East/Lake)	50 FT	183 FT	183 FT	0 FT	OK
Min. Side Yard	7.1 FT	5.78 FT	6.3 FT (3)	0 FT	0.8 FT (11.27%) VARIATION
Min. Total Side Yards	17.72 FT	30.89 FT	30.89 FT	0 FT	OK

NOTES:

(1) Based on lot area of 20,277 s.f.

(2) Variation amount is the difference between proposed and requirement.

(3) Setback to proposed addition. Existing setback of 5.78 feet would remain.

(4) Variation is required to allow a front-facing attached garage door 16-feet in width, whereas a maximum width of 9 feet is permitted.

ATTACHMENT B

Stormwater Volume Requirements for Development Sites

In addition to meeting the following storm water volume detention requirements, development sites must meet all other Village storm water management requirements such as drainage and grading, storm water release rates, storage system design requirements, etc.

	Storm Water Detention Volume Requirements	Applicable Requirement
A. New Home Construction - Previously Developed Lot	The amount of additional required storm water detention volume is based upon the difference between maximum impermeable lot coverage, per Zoning Code, and existing lot coverage, using the run-off coefficient for a 100-year storm event for both.	
B. New Home Construction - Previously <u>Undeveloped</u> Site	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
C. Redevelopment of Site for Different Use (e.g. single family to multi-family, or commercial)	The amount of required storm water detention volume is based upon the maximum impermeable lot coverage, using the run-off coefficient for 100-year storm event.	
D. Improvements to Existing Home and/or Lot, causing an increase in impermeable lot coverage <u>greater or equal to 25%</u>.	The amount of additional required storm water detention volume is based upon the difference between the proposed and existing impermeable lot coverage, using the run-off coefficient for 100 year storm event. (Note: If the increase in impermeable lot coverage is less than 25%, additional storm water detention volume is <u>not</u> required.)	<i>Applies to 335 Sheridan Road</i> <i>Based upon preliminary review of information to date, it appears that 335 Sheridan Road <u>would not</u> have to provide additional storm water detention volume. However, a final determination will be made by Village Engineering staff.</i>

ATTACHMENT C

Village of Winnetka
ZONING VARIATION APPLICATION

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 22-01-V

Property Information

Site Address: 335 Sheridan Road, Winnetka Illinois 60093

Owner Information

Name: Doug and Karen Kiersey

Address: 335 Sheridan Road

City, State, ZIP: Winnetka, Illinois 60093

Email: [Redacted]

Primary Contact: Karen Kiersey

Phone No. [Redacted]

Date property acquired by owner: 03/09/2014

Architect Information

Name: Mangold Architecture LLC

Primary Contact: Amy Mangold

Address: 130 Sheridan Road

City, State, ZIP: Highland Park, Illinois 60035

Phone No. 773-386-0737

Email: amy@scottsimpsondesignbuild.com

Attorney Information

Name: _____

Primary Contact: _____

Address: _____

City, State, Zip: _____

Phone No. _____

Email: _____

Nature of any restrictions on property: _____

Brief explanation of variation(s) requested (attach separate sheet providing additional details): _____

Garage addition - front and side yard setback variation (see attached)

16' wide overhead garage door (see attached)

Property Owner Signature: [Redacted]

Date: 12/09/2021

December 9, 2021

Ann Klaassen
Senior Planner – Village of Winnetka Community Development
510 Green Bay Road
Winnetka, Illinois 60093

RE: Standards for Granting of Zoning Variations
Proposed Standard Variation – 335 Sheridan Road

Proposed project:

The Owner respectfully requests a variation from Section 17.64.060 – Conforming Uses of Nonconforming Buildings of the Winnetka Zoning Ordinance.

The proposed project is a one-story garage and mud room addition on the west side of the house. The Owner is seeking this variation in order to garage park 2 cars. They presently cannot do so.

The existing garage door is 16' wide. The proposed overhead garage door is also 16' wide. The proposed garage addition has a clear, inside width of only 17', preventing the installation of two, separate garage doors that would comply with the zoning ordinance.

The existing house encroaches into the 50' required front yard/west setback 14.82'. The proposed addition will encroach into the front yard/west setback 24.15'; an increase of 9.33'.

The existing garage encroaches into the required side yard/south setback 0.8'. The proposed addition aligns with the existing garage, continuing the 0.8' encroachment for 8.0'.

Standards for Granting of Zoning Variations:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that zone.

The existing garage, built in the 1920s, is narrow and shallow. The clear space within the garage is 17'-7" wide x 18'-8" deep – preventing the Owner from parking 2 cars inside the garage concurrently. Two garage doors can't be installed due to the narrowness of the garage addition – they simply won't fit.

2. The plight of the Owner is due to unique circumstance. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.

The existing house is at the end of an extremely narrow private road. The orientation of the house and garage on site pre-dates the zoning ordinance. The front and side yard encroachments are existing nonconforming conditions which preceded the purchase of the property by the present Owner. The narrowness of the existing garage (which the addition aligns with) prevents the installation of separate garage doors.

3. The variation, if granted, will not alter the essential character of the locality.

The proposed variation will not alter the essential character of the locality. The design of the addition was very carefully considered. The requested encroachment into the front yard setback allows 2 cars to park inside the garage, without needing to expand the width of the garage/increase the existing encroachment into the side yard. When complete, the addition will be hard to distinguish from the current house as it simply extends the garage and mud room door facades west - see page 3.

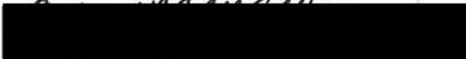
M a n g o l d A r c h i t e c t u r e L L C

thoughtful design ~ delightful living

130 Sheridan Road • Highland Park Illinois 60035 • 773-386-0737

4. An adequate supply of light and air to the adjacent property will not be impaired.
The proposed variations do not alter light and air to adjacent properties.
5. The hazard from fire and other damages to the property will not be increased.
The proposed variations will not increase the hazard from fire or other damages.
6. The taxable value of the land and buildings throughout the Village will not diminish.
The proposed variations will not diminish the taxable value of the land and building in the Village.
7. The congestion in the public street will not increase.
The proposed variations will not increase congestion in the public street. The variations will alleviate congestion on the private, extremely narrow, 14'-6" wide dead end road that serves 6 houses. Once cars are parked within the garage, the ability to turn around at the end of the street will greatly improve – see Page 4.
8. The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired.
The proposed variations will not impair the public health, safety, comfort, morals and welfare of the Village inhabitants.

Sincerely,


Amy Mangold, AIA
Mangold Architecture LLC
130 Sheridan Road
Highland Park, Illinois 60035

M a n g o l d A r c h i t e c t u r e L L C

thoughtful design ~ delightful living

130 Sheridan Road • Highland Park Illinois 60035 • 773-386-0737

335 Sheridan Road – view from street – photograph of existing conditions:



335 Sheridan Road – view from street – rendering of proposed addition:



M a n g o l d A r c h i t e c t u r e L L C
thoughtful design ~ delightful living

130 Sheridan Road • Highland Park Illinois 60035 • 773-386-0737

335 Sheridan – view west toward Sheridan Road – private road is +/- 14'-6" wide:

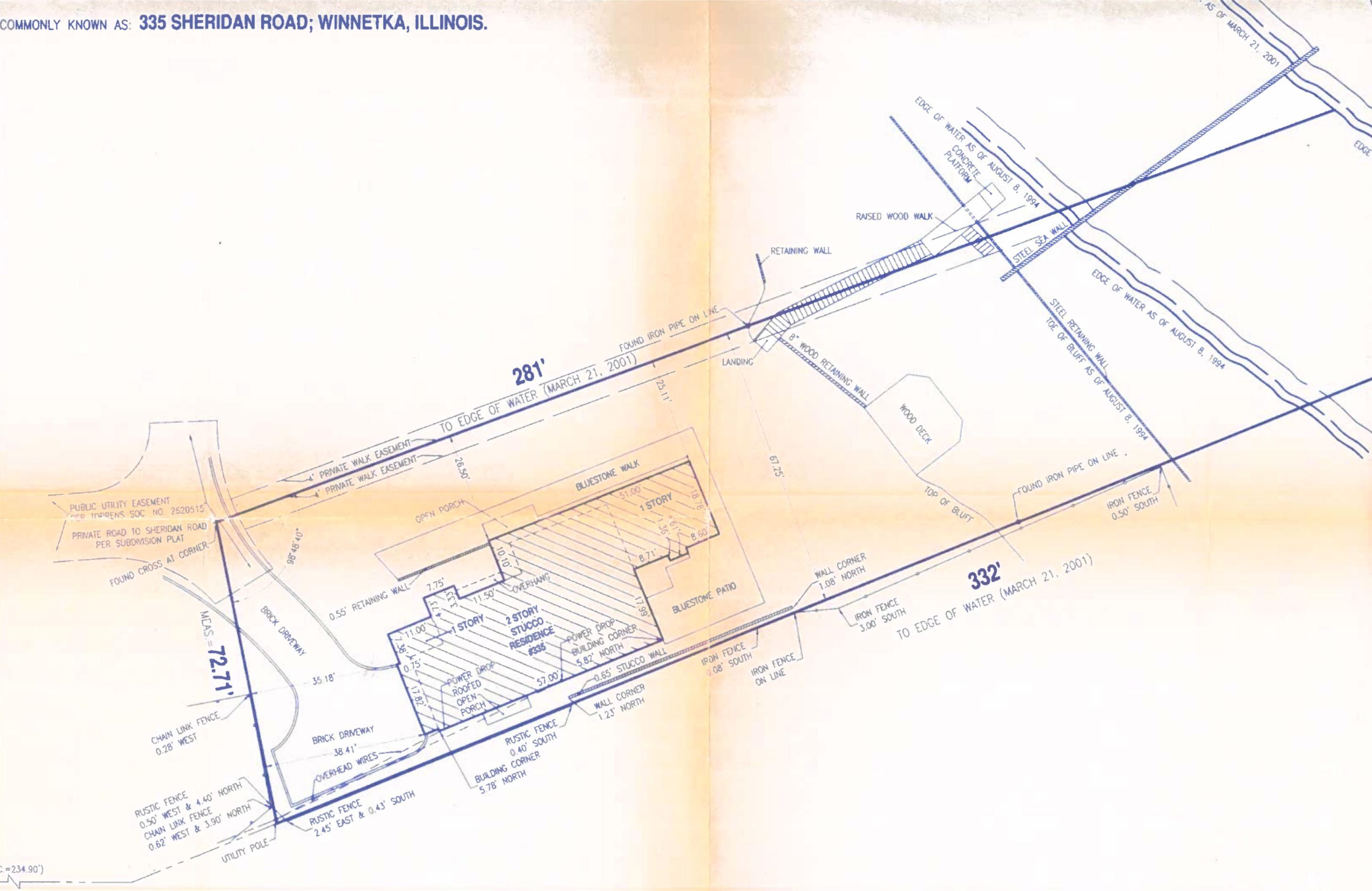


335 Sheridan – all properties on this private road are non-conforming:



M a n g o l d A r c h i t e c t u r e L L C
thoughtful design ~ delightful living

130 Sheridan Road • Highland Park Illinois 60035 • 773-386-0737



SITE NOTES:
 Area (to water's edge as of March 21, 2001) = 20,437 sq. ft.

IMPERMEABLE SURFACE WORK:
 - NO CHANGE TO STOOPS, WALKS, TERRACES, GARDEN WALLS, ETC.
 - DRIVEWAY REMAINS, EXCEPT AS NOTED.
 - NEW STEPPERS EAST SIDE OF DRIVE.
 - INFILL CONCRETE WALK AT FORMER STOOP ON SOUTH SIDE.

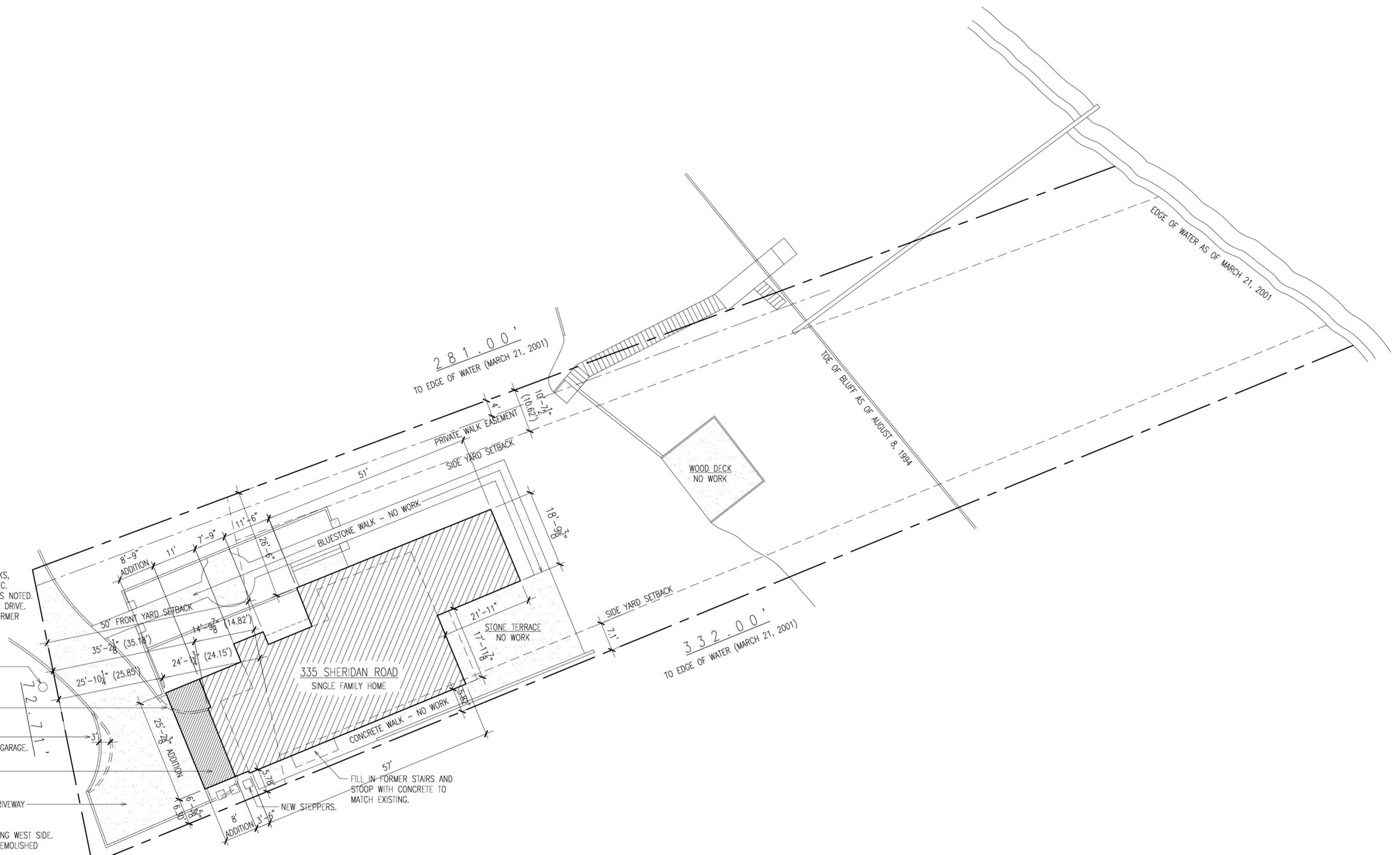
TREE REMAINS AND SHALL BE PROTECTED.

EXPAND DRIVEWAY TO PROPOSED MUD ROOM DOOR.

EXPAND DRIVEWAY TO INCREASE TURNING RADIUS TO PROPOSED GARAGE.

PROPOSED 1-STORY ADDITION.

NO CHANGE TO BRICK PAVER DRIVEWAY WITH STONE BORDER EXCEPT:
 - DEMOLISH DRIVE AT ADDITION.
 - EXPAND DRIVE AS NOTED ALONG WEST SIDE.
 - AREAS OF DRIVEWAY TO BE DEMOLISHED ARE SHOWN DASHED.



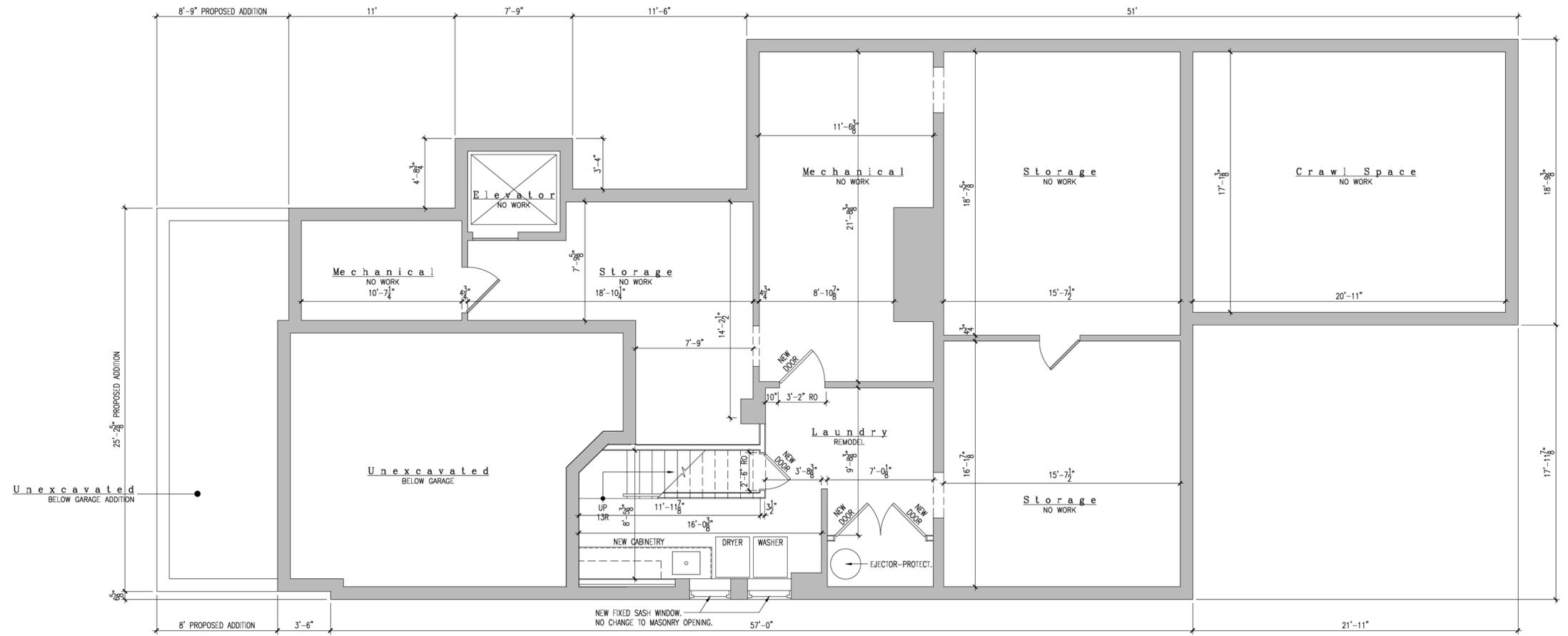
SITE PLAN

SCALE: 3/32" = 1'-0"
 DECEMBER 9, 2021

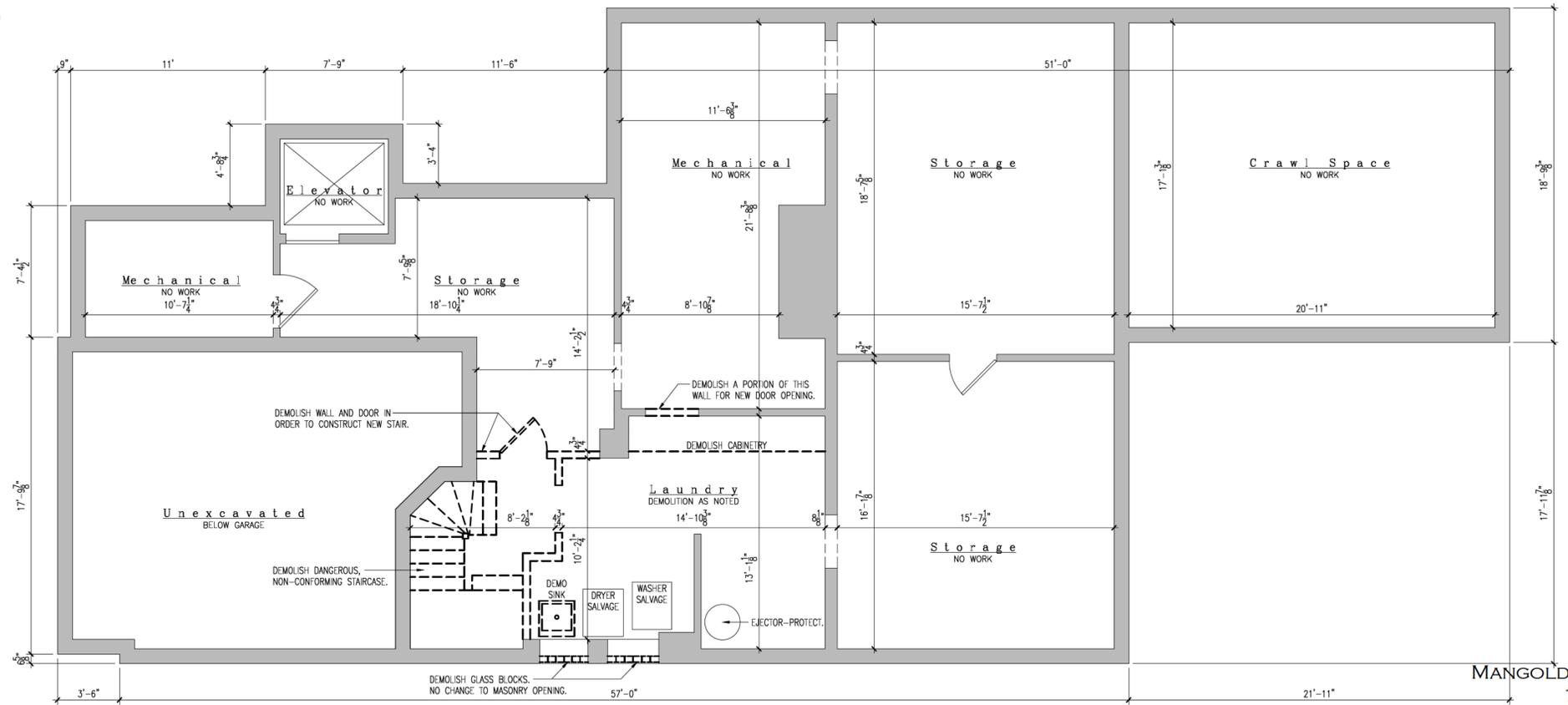
MANGOLD ARCHITECTURE LLC
 130 SHERIDAN ROAD
 HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE

335 SHERIDAN ROAD - WINNETKA



BASEMENT PLAN - PROPOSED

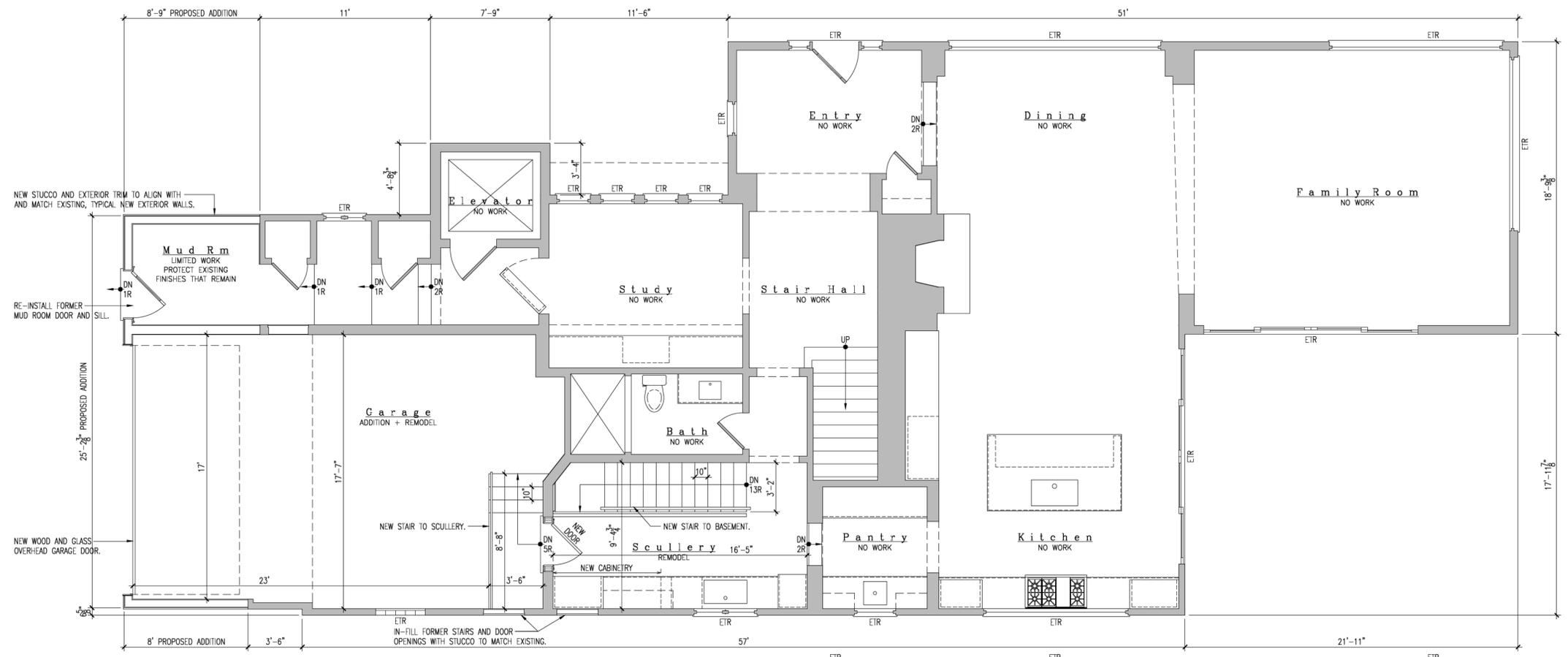


BASEMENT PLAN - EXISTING

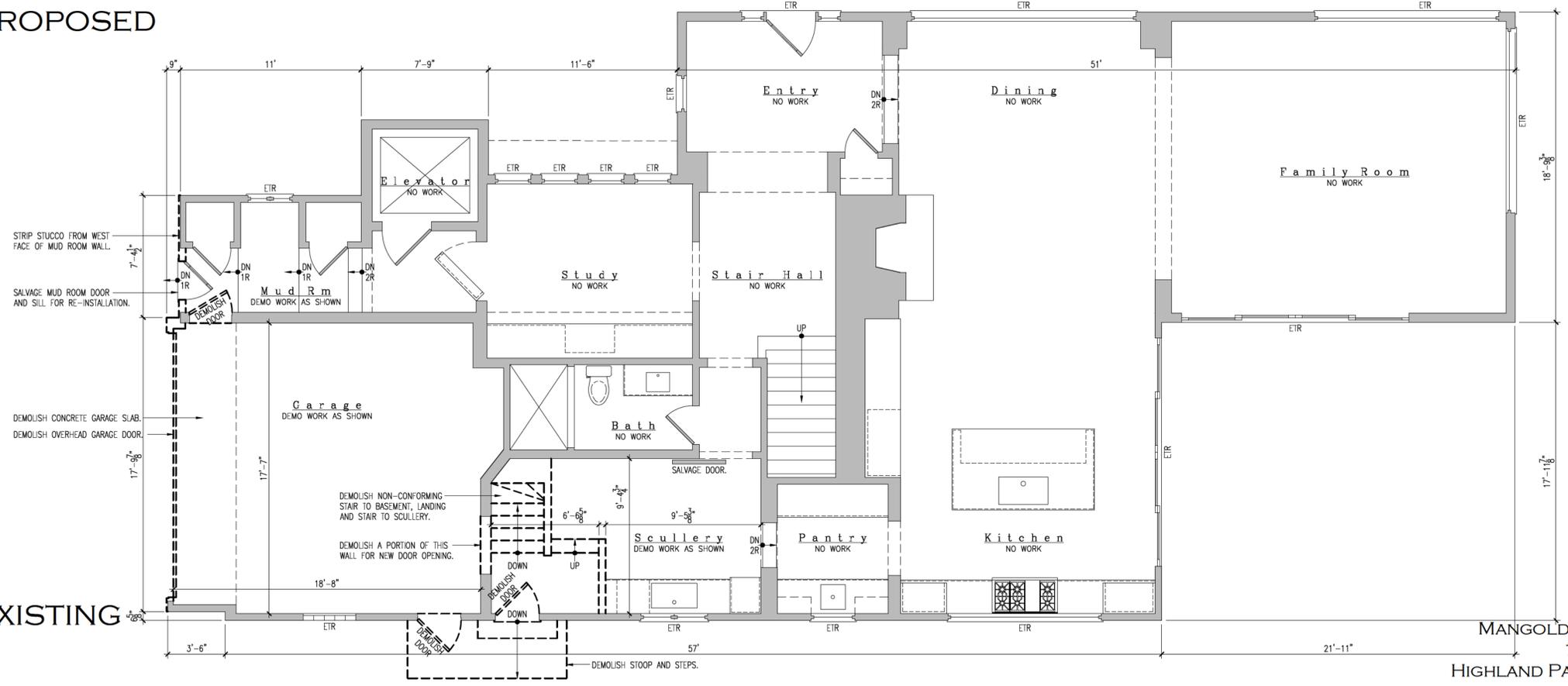
SCALE: 1/2" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE
335 SHERIDAN ROAD - WINNETKA



FIRST FLOOR PLAN - PROPOSED



FIRST FLOOR PLAN - EXISTING

SCALE: 1/2" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

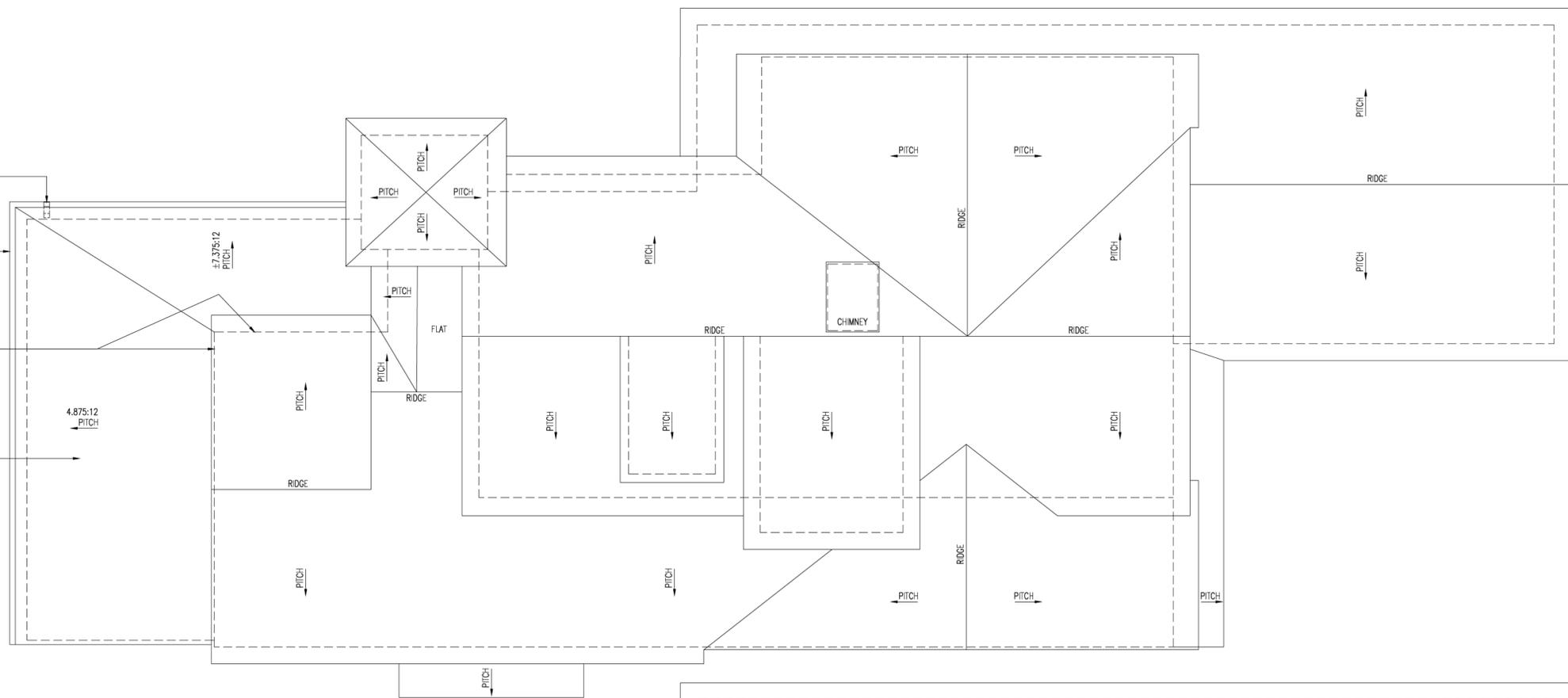
KIERSEY RESIDENCE
335 SHERIDAN ROAD - WINNETKA

NEW DOWNSPOUT TO MATCH
EXISTING COLOR, PROFILE AND SIZE.

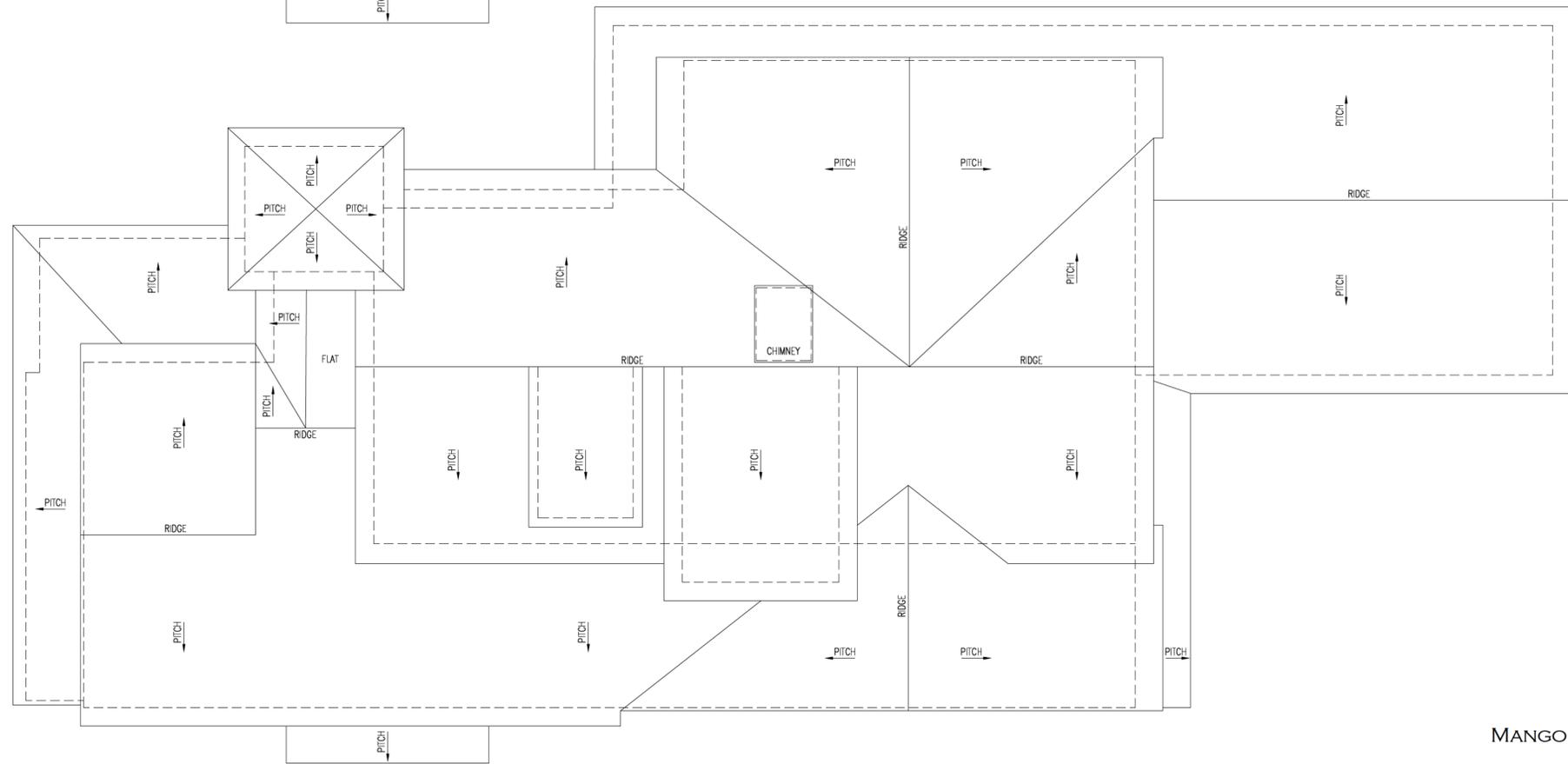
NEW GUTTERS TO MATCH
EXISTING COLOR, PROFILE AND SIZE.

NEW SHEET METAL FLASHING WHERE
ROOF MEETS STUCCO.
COLOR: BRONZE TO MATCH GUTTERS.

NEW ROOFING AND EXTERIOR
TRIM TO MATCH EXISTING.



ROOF PLAN - PROPOSED



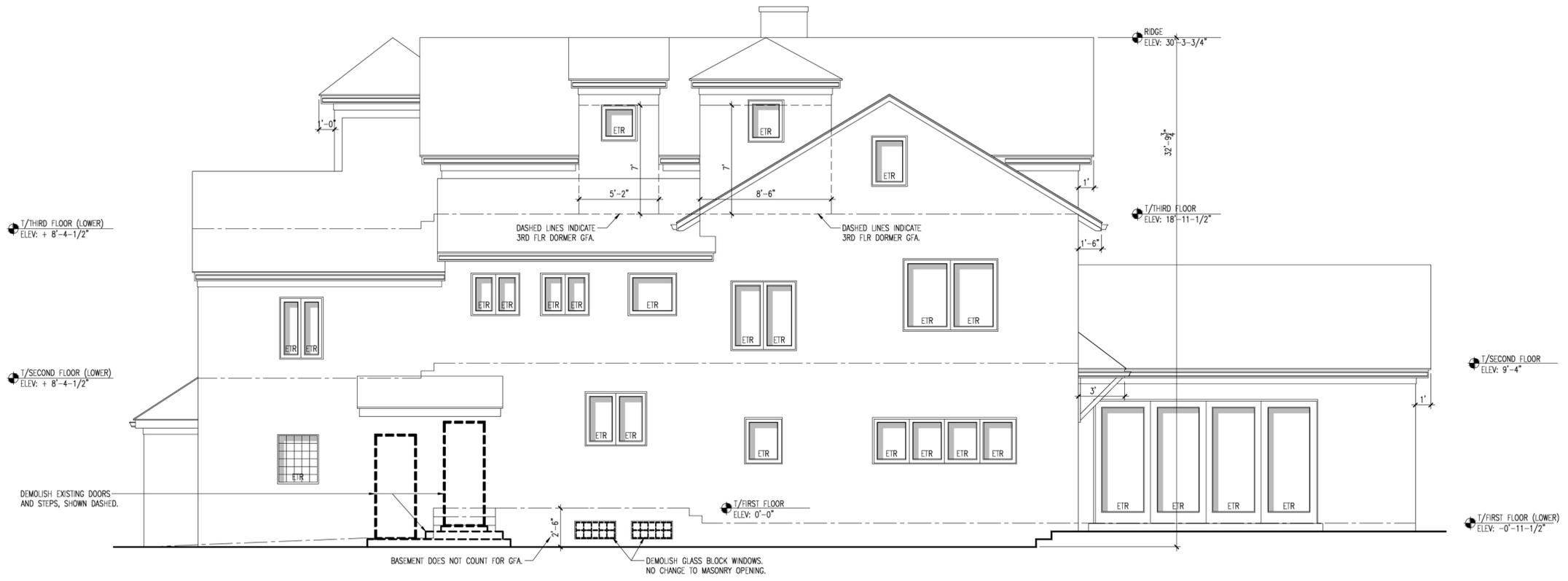
ROOF PLAN - EXISTING

SCALE: 1/2" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE

335 SHERIDAN ROAD - WINNETKA



EXISTING SOUTH ELEVATION



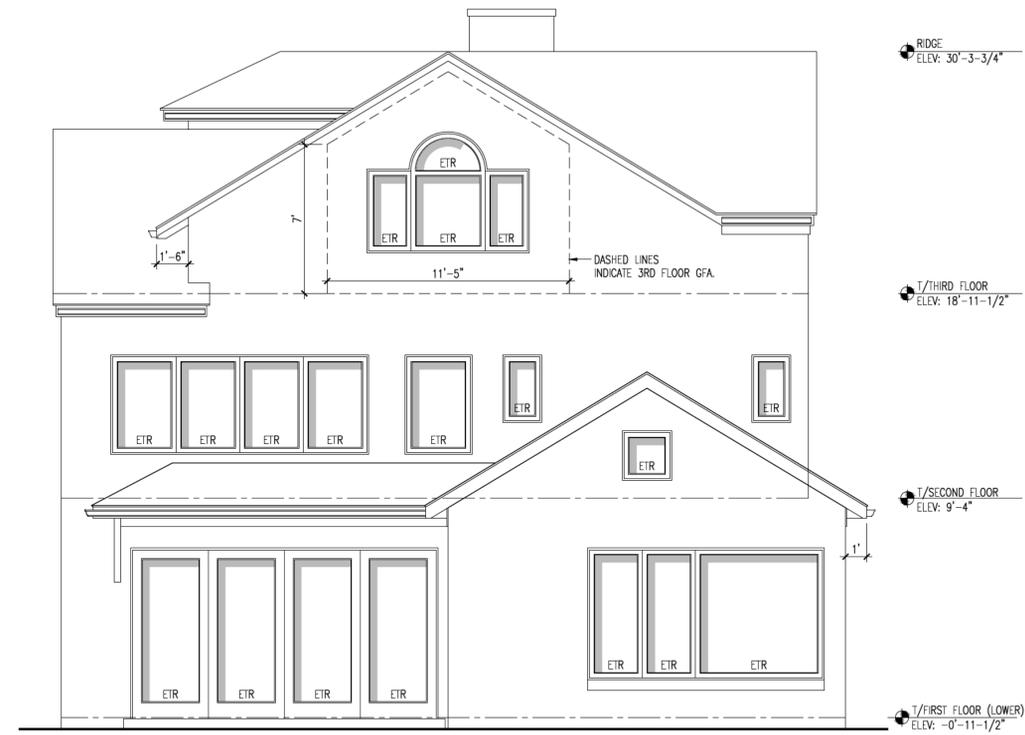
PROPOSED SOUTH ELEVATION

SOUTH ELEVATIONS

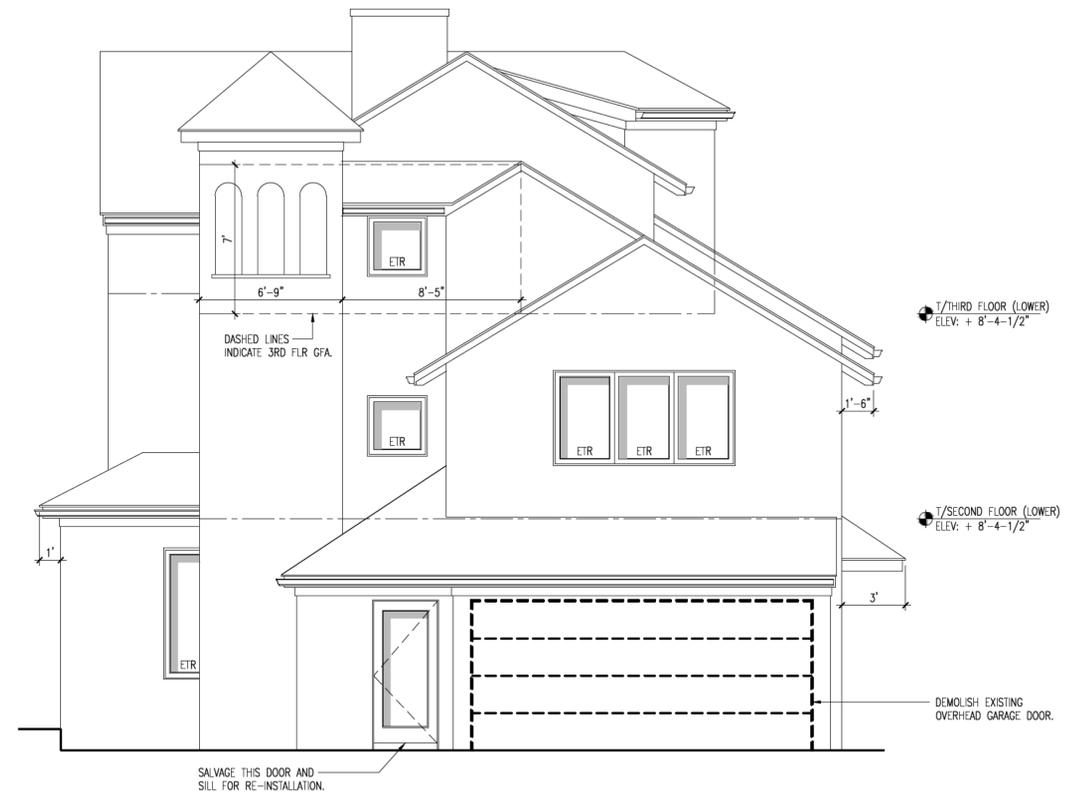
SCALE: 1/4" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

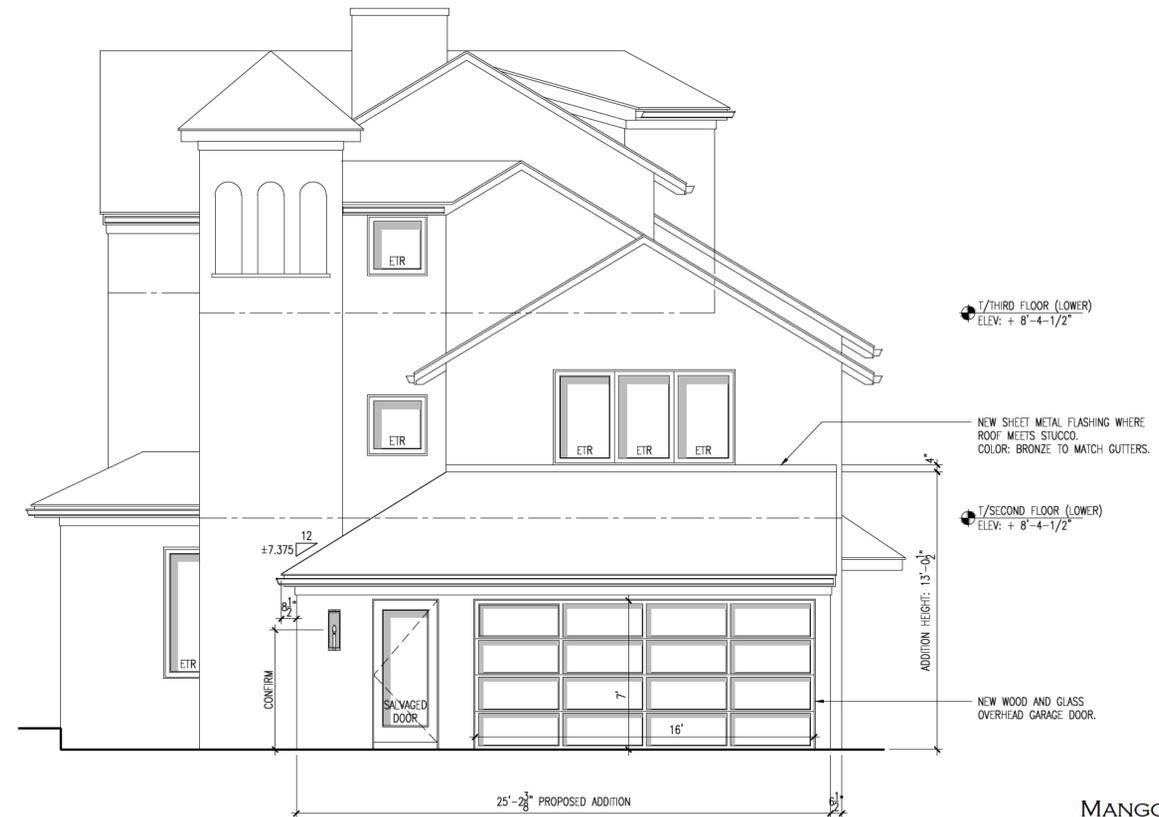
KIERSEY RESIDENCE
335 SHERIDAN ROAD - WINNETKA



EXISTING EAST ELEVATION



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION

EAST + WEST ELEVATIONS

SCALE: 1/4" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE
335 SHERIDAN ROAD - WINNETKA



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION

NORTH ELEVATIONS

SCALE: 1/4" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE
335 SHERIDAN ROAD - WINNETKA

ORDINANCE NO. M-422-95

**AN ORDINANCE GRANTING A VARIATION IN THE APPLICATION
OF THE ZONING ORDINANCE OF THE VILLAGE OF WINNETKA,
COOK COUNTY, ILLINOIS (335 SHERIDAN)**

WHEREAS, there has been presented to the Council of the Village of Winnetka, Cook County, Illinois, the request of the owner of the following described real estate:

Lot 4 in Clay and Zimmerman's Subdivision of Lots 3 and 4 in Block 1 in Dale's Addition to Winnetka, a Subdivision of the North 7.5 chains of the Southeast fractional quarter of fractional Section 21, Township 42 North, Range 13, East of the Third Principal Meridian, and also a strip of land lying Easterly of and adjoining said Lot 4 and extending Easterly to the shore of Lake Michigan and lying between the Northerly and Southerly line (extended easterly to the shore of Lake Michigan) of said Lot 4 in Winnetka,

commonly known as 335 Sheridan, Winnetka, Illinois (the "Subject Property"), and located in the "A-3" (One-Half Acre) Single-Family Residential Zoning District provided in the Winnetka Zoning Ordinance, Chapter 22, Winnetka Village Code, for a variation from the Front Setback requirements of Section 22.07 of the Winnetka Zoning Ordinance, from 50 feet to 35.18 feet, resulting in a variation of 14.82 feet, to permit the construction of an addition to provide elevator access to the upper floors of the single-family residence on the Subject Property; and

WHEREAS, there are unique circumstances and practical difficulties associated with carrying out the strict application of the Zoning Ordinance with respect to the Subject Property in that the single-family residence on the Subject Property was constructed in 1923, 11 years before the setback requirements that rendered it non-conforming were enacted; and

M-422-95

WHEREAS, the essential character of the locality will not be impaired by the requested variation, in that it will be located in a relatively unobtrusive location, and will not be any closer to the front property line than the existing structure; and

WHEREAS, the proposed construction will not impair an adequate supply of light and air because it will be no closer to the street than the existing structure; and

WHEREAS, the requested variation will not increase the hazard from fire and other damage to said property, will not diminish the taxable value of land and buildings throughout said Village, will have no impact on the use of the public streets, and will not otherwise impair the public health, safety, comfort, morals, and welfare of the inhabitants of the Village; and

WHEREAS, the requested variation is in harmony with the general purpose and intent of the provisions of the Winnetka Zoning Ordinance; and

WHEREAS, on March 13, 1995, on due notice thereof, the Zoning Board of Appeals conducted a public hearing on said requested variation and by the affirmative vote of 4 of the 5 members then in attendance, has reported to the Council recommending that the requested variation be granted;

NOW, THEREFORE, the Council of the Village of Winnetka do ordain:

SECTION 1: That a variation from the Front Setback requirement of the Zoning Ordinance adopted by the Village of Winnetka, Cook County, Illinois, and now in effect, is granted with

respect to the Subject Property, which is located in the "A-3" (One-Half Acre) Single-Family Residential District provided in said Zoning Ordinance, from the Front Yard Setback provisions of Section 22.07 of the Winnetka Zoning Ordinance, Chapter 22, Winnetka Village Code, from 50 feet to 35.18 feet, resulting in a variation of 14.82 feet, to permit the construction of an addition to provide elevator access to the upper floors of the single-family residence on the Subject Property, in accordance with the plans accompanying the application for variation.

SECTION 2: That the variation hereby granted is conditioned upon the commencement of the proposed construction within 12 months after the effective date of this Ordinance.

SECTION 3: That this Ordinance shall be in full force and effect from and after its passage, approval, and posting.

PASSED and approved this 2nd day of May, 1995.

AYES: Trustees Downey, Lanphier, Meuer, and Holland

NAYS: Trustee Agnew

ABSENT: Trustee Cousins

Signed: 

Village President

Countersigned:



Village Clerk

Read, Ordered, Engrossed and Posted April 18, 1995

Posted April 19, 1995

Passed and Approved May 2, 1995

Posted May 3, 1995

Win\M-422.95

**AN ORDINANCE GRANTING A VARIATION IN
THE APPLICATION OF THE ZONING ORDINANCE
OF THE VILLAGE OF WINNETKA
COOK COUNTY, ILLINOIS (335 Sheridan Road)**

WHEREAS, there has been presented to the Council of the Village of Winnetka, Cook County, Illinois, the request of the owner of the following described real estate (the “ Subject Property”):

Lot 4 in Clay and Zimmerman’ s Subdivision of Lots 3 and 4 in Block 1 in Dale’ s Addition to Winnetka, a subdivision of the north 7.5 chains of the southeast fractional ¼ of fractional Section 21, Township 42 North, Range 13 east of the Third Principal Meridian, and also a strip of land lying easterly of and adjoining said Lot 4 and extending easterly to the shore of Lake Michigan and lying between the northerly and southerly line (extended easterly to the shore of Lake Michigan) of Said Lot 4 in Winnetka, Cook County, Illinois,

commonly known as 335 Sheridan Road, Winnetka, Illinois, and located in the R-2 Single-Family Residential Zoning District provided in Chapter 17.24 of the Winnetka Zoning Ordinance, Title 17 of the Winnetka Village Code, for the following variations: (a) a variation from the building height limitations of Section 17.24.010(C) to allow a building height of three stories, although the maximum allowable building height is 2 ½ stories; and (b) a variation from the side yard requirements of Section 17.24.010(I) to allow a side yard setback of 9.65 feet, whereas 12 feet are required, resulting in a variation of 2.35 feet (19.58%), all for the purpose of constructing a third floor addition to the single family residence on the Subject Property by vertically extending a portion of the existing second floor and stairway; and

WHEREAS, on February 11, 2002, on due notice thereof, the Zoning Board of Appeals conducted a public hearing on the requested variation and by the unanimous vote of the five

members then present, has reported to the Council recommending that the requested variation be granted; and

WHEREAS, there are practical difficulties and unique hardships associated with carrying out the strict application of the Zoning Ordinance with respect to the Subject Property in that: (a) the single family residence on the Subject Property was built in 1923, prior to the enactment of the Village' s Zoning Ordinance; (b) the Subject Property is a nonconforming lot and has a legal, nonconforming south sideyard; (c) the vertical extension being proposed by the owners does not increase the building' s footprint; (d) the size and location of the stairway to the proposed third floor is driven by the size and location of the stairway over which it is being built; and (e) although the area of the third floor with a height of 7 feet or more exceeds the half-story limitation of 50% of the area of the floor below, the excess area results from the location of the walls that are being extended vertically; and

WHEREAS, the Subject Property cannot yield a reasonable return if permitted to be used only under the conditions allowed by the Zoning Ordinance, in that: (a) the existing nonconformity cannot be cured without demolishing and replacing the residence in its entirety; (b) the existing attic does not contain livable space, and the proposed partial third floor will add bedrooms, a bathroom and storage space, all of which are necessary to bring the residence up to standards consistent with single family residences in the Village; (c) the proposed stairway to the third floor is located directly above the existing stairway and cannot be placed in a conforming location because of the interior configuration of the house; and (d) because the main body of the residence is in a nonconforming location, there is no conforming alternative for providing additional living space in the residence; and

WHEREAS, the requested variation will not alter the essential character of the neighborhood because the proposed third floor addition does not increase the footprint of the existing building, is designed to be consistent with the architectural style of the existing residence and is lower than the maximum vertical height allowed in the R-2 zoning district; and

WHEREAS, the requested variations will not impair an adequate supply of light and air because, although the area of the proposed third floor that is over seven feet high results in treating the vertical extension as a third story, the actual vertical height of the building after the 4.5-foot height increase will be 29.0 feet, which is less than the 35-foot maximum vertical height allowed by the Zoning Ordinance, and the additional sideyard encroachment results from the proposed vertical extension of the existing stairway, which is already in a nonconforming location; and

WHEREAS, the requested variations will not increase the hazard from fire and other dangers to the Subject Property as it will comply with all applicable building and fire protection codes; and

WHEREAS, there is no evidence that the requested variations will diminish the taxable value of land and buildings throughout the Village, and the taxable value of the Subject Property may be increased because of the proposed improvements; and

WHEREAS, the proposed third floor addition will not contribute to congestion on the public streets, as the building will remain a single family residence and there is no reduction in off-street parking; and

WHEREAS, there is no evidence that the proposed third floor addition will otherwise impair the public health, safety, comfort, morals, and welfare of the inhabitants of the Village.

WHEREAS, the requested variations are in harmony with the general purpose and intent of the Winnetka Zoning Ordinance, in that it allows the renovation, restoration and rehabilitation of a

structurally sound existing building while maintaining the existing scale and appearance of the community and protecting established trees and landscaping.

NOW, THEREFORE, the Council of the Village of Winnetka do ordain as follows:

SECTION 1: That the foregoing recitals are hereby incorporated as the findings of the Council of the Village of Winnetka, as if fully set forth herein.

SECTION 2: That the following variations are hereby granted to the Subject Property, commonly known as 335 Sheridan Road, Winnetka, Illinois, and located in the R-2 Single-Family Residential Zoning District provided in Chapter 17.24 of the Winnetka Zoning Ordinance, Title 17 of the Winnetka Village Code: (a) a variation from the building height limitations of Section 17.24.010(C) to allow a building height of three stories, although the maximum allowable building height is 2 ½ stories; and (b) a variation from the side yard requirements of Section 17.24.010(I) to allow a side yard setback of 9.65 feet, whereas 12 feet are required, resulting in a variation of 2.35 feet (19.58%), all for the purpose of constructing a third floor addition to the residence on the Subject Property, by vertically extending a portion of the existing second floor and stairway in accordance with the plans and elevations submitted with the application for variation.

SECTION 3: That the variations hereby granted are conditioned upon the commencement of the proposed construction within 12 months after the effective date of this Ordinance.

SECTION 4: This Ordinance shall take effect immediately upon passage, approval and posting.

ADOPTED this 19th day of March, 2002, pursuant to the following roll call vote:

AYES: Trustees Aquilino, Brower, Greenough, Powell, Presser and Woodbury

NAYS: None

ABSENT: None

ATTACHMENT E
RESOLUTION NO. ZBA-01-2022
VILLAGE OF WINNETKA
ZONING BOARD OF APPEALS
APPROVAL OF ZBA CASE NO. 22-01-V – 335 SHERIDAN ROAD

WHEREAS, Doug and Karen Kiersey, (collectively, the “Applicant”) are the owners of the property commonly known as 335 Sheridan Road, Winnetka, Illinois, and legally described in **Exhibit A** attached to and, by this reference, made part of this Resolution (“**Subject Property**”); and

WHEREAS, the Subject Property is located in the R-2 Single Family Residential District; and

WHEREAS, the Subject Property is improved with a single family residence with an attached garage that is nonconforming with respect to (i) the minimum required front yard setback from the west property line; (ii) the minimum required side yard setback; and (iii) the maximum permitted width for a front-facing attached garage door (“**Building**”); and

WHEREAS, the Applicant desires to construct a one-story addition to the Building on the Subject Property that would (i) provide less than the minimum required front yard setback from the west property line; (ii) provide less than the minimum required side yard setback; and (iii) exceed the maximum permitted width for a front-facing attached garage door (“**Proposed Improvement**”); and

WHEREAS, pursuant to Section 17.30.050 of the Winnetka Zoning Ordinance (“**Zoning Ordinance**”), the Subject Property is required to provide a minimum front yard setback of at least 50 feet; and

WHEREAS, pursuant to Section 17.30.060 of the Zoning Ordinance, the Subject Property is required to provide a minimum side yard setback of at least 7.1 feet; and

WHEREAS, pursuant to Section 17.30.110 of the Zoning Ordinance, the Subject Property is allowed a maximum width of 9 feet for an individual front-facing attached garage door; and

WHEREAS, the Applicant desires to construct the Proposed Improvement on the Subject Property with (i) a front yard setback that is less than the required 50 feet, a violation of Section 17.30.050 of the Zoning Ordinance, (ii) a side yard setback from the south property line that is less than the required 7.1 feet, a violation of Section 17.30.060 of the Zoning Ordinance, and (iii) a front-facing attached garage door that exceeds the maximum permitted width of 9 feet for an individual door, a violation of Section 17.30.110 of the Zoning Ordinance; and

WHEREAS, the Applicant filed an application for variations from Section 17.30.050, Section 17.30.060, and Section 17.30.110 of the Zoning Ordinance to permit the Proposed Improvement on the Subject Property with (i) a front yard setback of 25.85 feet, (ii) a south side yard setback of 6.3 feet, and (iii) a front-facing attached garage door measuring 16 feet in width to accommodate the proposed addition (“**Requested Variations**”); and

WHEREAS, a public notice for the Requested Variations was duly published on December 23, 2021 in the “Winnetka Talk” and notice was mailed to the owners of record of all properties within 250 feet of the Subject Property as required by the Zoning Ordinance; and

WHEREAS, in accordance with social distancing requirements, Governor Pritzker's Executive Order 2021-32 and Section 7(e) of the Illinois Open Meetings Act, a virtual public hearing was held by the Winnetka Zoning Board of Appeals during a virtual meeting held on January 10, 2022 for the purpose of considering the Requested Variations with the final decision being rendered at the Zoning Board of Appeal's Regular Meeting on January 10, 2022; and

WHEREAS, the Zoning Board of Appeals has considered the evidence presented, as follows:

1. Application for the Requested Variations submitted by the Applicant, dated December 10, 2021, including all attachments as well as all subsequent additions and revisions to these application materials and attachments; and
2. All written and oral testimony concerning the Requested Variations.

WHEREAS, the Zoning Board of Appeals has determined that the Requested Variations do satisfy the standards for a variation provided in Sections 17.60.040 and 17.60.050 of the Winnetka Zoning Ordinance; and

WHEREAS, the Zoning Board of Appeals has determined that it will serve and be in the best interest of the Village and its residents to grant the application for the (i) front yard setback variation, (ii) side yard setback variation, and (iii) the front-facing attached garage door width variation in accordance with, and subject to, the conditions, restrictions, and provisions of this Resolution;

NOW, THEREFORE, BE IT RESOLVED, by the Zoning Board of Appeals of the Village of Winnetka, Cook County, Illinois, that:

SECTION 1. RECITALS. The foregoing recitals are incorporated into, and made part of, this Resolution as the findings of the Zoning Board of Appeals.

SECTION 2. APPROVAL OF VARIATIONS. Subject to and contingent upon the conditions, restrictions, and provisions set forth in Section Three of this Resolution, the requested (i) front yard setback variation from Section 17.30.050 of the Zoning Ordinance, (ii) side yard setback variation from Section 17.30.060 of the Zoning Ordinance, and (iii) front-facing attached garage door width variation from Section 17.30.110 of the Zoning Ordinance to permit the construction of the proposed one-story addition on the Subject Property is hereby granted, in accordance with and pursuant to Chapter 17.60 of the Zoning Ordinance and the home rule powers of the Village.

SECTION 3. CONDITIONS. Notwithstanding any use or development right that may be applicable or available pursuant to the provisions of the Winnetka Zoning Ordinance or any other rights the Applicant may have, the approval granted in Section Two of this Resolution is hereby expressly subject to and contingent upon compliance with each and all of the following conditions:

- A. Compliance with Plans. Except for minor changes and site work approved by the Director of Community Development in accordance with all applicable Village standards, the development, use, operation, and maintenance of the Subject Property, shall comply with those certain plans attached hereto as **Exhibit B**.

- B. Compliance with Regulations. The construction, development, use, operation, and maintenance of the Proposed Improvement and the Subject Property must comply with all applicable Village codes and ordinances, as the same may be amended from time to time, except to the extent specifically provided otherwise in this Resolution.

SECTION 4. RECORDING; BINDING EFFECT. A copy of this Resolution will be recorded in the office of the Cook County Recorder of Deeds. This Resolution and the privileges, obligations, and provisions contained herein will inure solely to the benefit of, and be binding upon, the Applicant and its respective heirs, personal representatives, successors and assigns.

SECTION 5. FAILURE TO COMPLY WITH CONDITIONS. Upon the failure or refusal of the Applicant to comply with any or all of the conditions, restrictions, or provisions of this Resolution, the approval granted in Section Two of this Resolution will, at the sole discretion of the Zoning Board of Appeals, by Resolution duly adopted, be revoked and become null and void; provided, however, that the Zoning Board of Appeals may not so revoke the approval granted in Section Two of this Resolution unless it first provides the Applicant with two months advance written notice of the reasons for revocation and an opportunity to be heard at a regular meeting of the Zoning Board of Appeals. In the event of revocation, the development and use of the Subject Property will be governed solely by the applicable regulations of the Winnetka Zoning Ordinance, including, without limitation, (i) the front yard setback requirement set forth in Section 17.30.050 of the Winnetka Zoning Ordinance, (ii) the side yard setback requirement set forth in Section 17.30.060 of the Winnetka Zoning Ordinance, (iii) the front-facing attached garage door width requirement set forth in Section 17.30.110 of the Winnetka Zoning Ordinance. Further, in the event of such revocation, the Village Manager and Village Attorney are hereby authorized and directed to bring such zoning enforcement action as may be appropriate under the circumstances.

SECTION 6. AMENDMENTS. Any amendments to the Requested Variations granted in Section Two of this Resolution may be granted only pursuant to the procedures, and subject to the standards and limitations, provided in the Winnetka Zoning Ordinance.

SECTION 7. EFFECTIVE DATE.

- A. This Resolution will be effective only upon the occurrence of all of the following events:

1. Passage by the Zoning Board of Appeals in the manner required by law; and
2. The filing by the Applicant with the Village Clerk of an Unconditional Agreement and Consent, in the form of **Exhibit C** attached to and, by this reference, made a part of this Resolution, to accept and abide by each and all of the terms, conditions, and limitations set forth in this Resolution and to indemnify the Village for any claims that may arise in connection with the approval of this Resolution.

B. In the event that the Applicant does not file fully executed copies of the Unconditional Agreement and Consent, as required by Section 7.A.2 of this Resolution, within 60 days after the date of final passage of this Resolution by the Zoning Board of Appeals, the Zoning Board of Appeals will have the right, in its sole discretion, to declare this Resolution null and void and of no force or effect.

[SIGNATURES ON FOLLOWING PAGE]

ADOPTED this 10th day of January, 2022, pursuant to the following roll call vote:

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

Signed:

Matthew Bradley, Chairperson

Countersigned:

Village Clerk

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

Lot 4 in Clay & Zimmerman's Subdivision of Lots 3 and 4 in Block 1 in Dale's Addition to Winnetka, a Subdivision of the North 7.5 Chains of the Southeast Fractional Quarter of Fractional Section 21, Township 42 North, Range 13, East of the Third Principal Meridian, and also a strip of land lying East of and adjoining said Lot 4, and extending Easterly to the shore of Lake Michigan and lying between the Northerly and Southerly lines, extended Easterly to the shore of Lake Michigan of said Lot 4 in Winnetka, in Cook County, Illinois.

Commonly known as 335 Sheridan Road, Winnetka, Illinois.

Parcel Index Number: 05-21-403-007-0000

EXHIBIT B
PLANS

(SEE ATTACHED EXHIBIT B)

IMPERMEABLE SURFACE WORK:
 - NO CHANGE TO STOOPS, WALKS, TERRACES, GARDEN WALLS, ETC.
 - DRIVEWAY REMAINS, EXCEPT AS NOTED.
 - NEW STEPPERS EAST SIDE OF DRIVE.
 - INFILL CONCRETE WALK AT FORMER STOOP ON SOUTH SIDE.

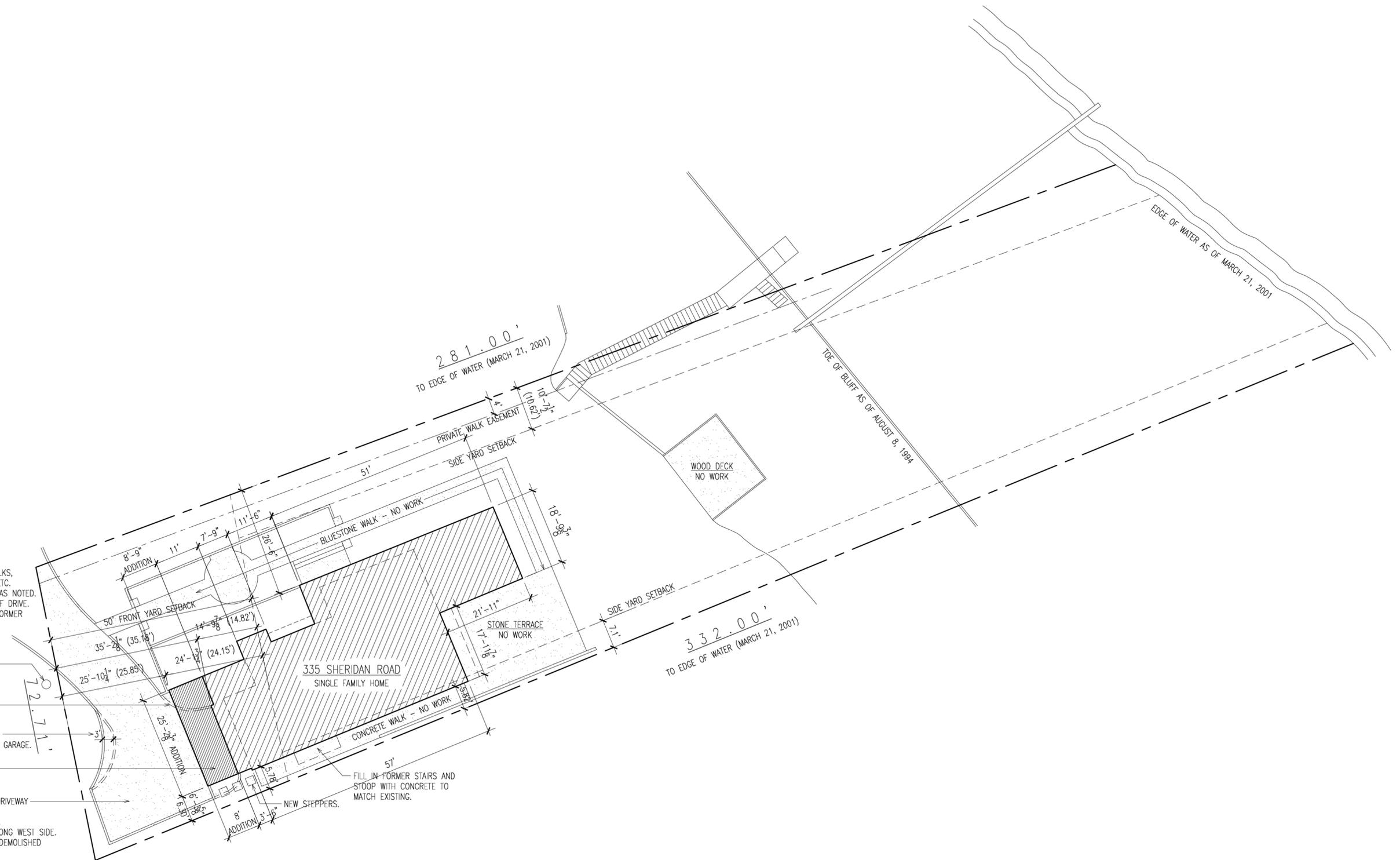
TREE REMAINS AND SHALL BE PROTECTED.

EXPAND DRIVEWAY TO PROPOSED MUD ROOM DOOR.

EXPAND DRIVEWAY TO INCREASE TURNING RADIUS TO PROPOSED GARAGE.

PROPOSED 1-STORY ADDITION.

NO CHANGE TO BRICK PAVER DRIVEWAY WITH STONE BORDER EXCEPT:
 - DEMOLISH DRIVE AT ADDITION.
 - EXPAND DRIVE AS NOTED ALONG WEST SIDE.
 - AREAS OF DRIVEWAY TO BE DEMOLISHED ARE SHOWN DASHED.



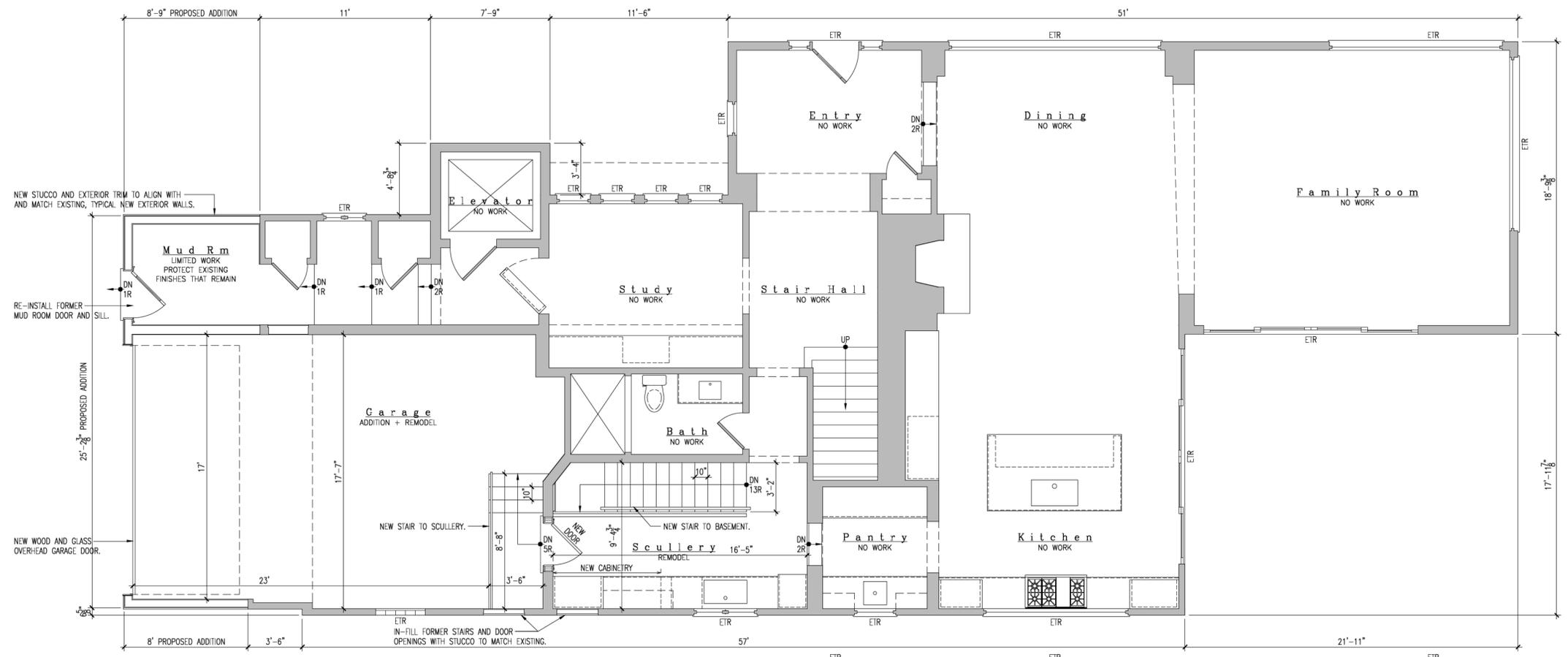
SITE PLAN

SCALE: 3/32" = 1'-0"
 DECEMBER 9, 2021

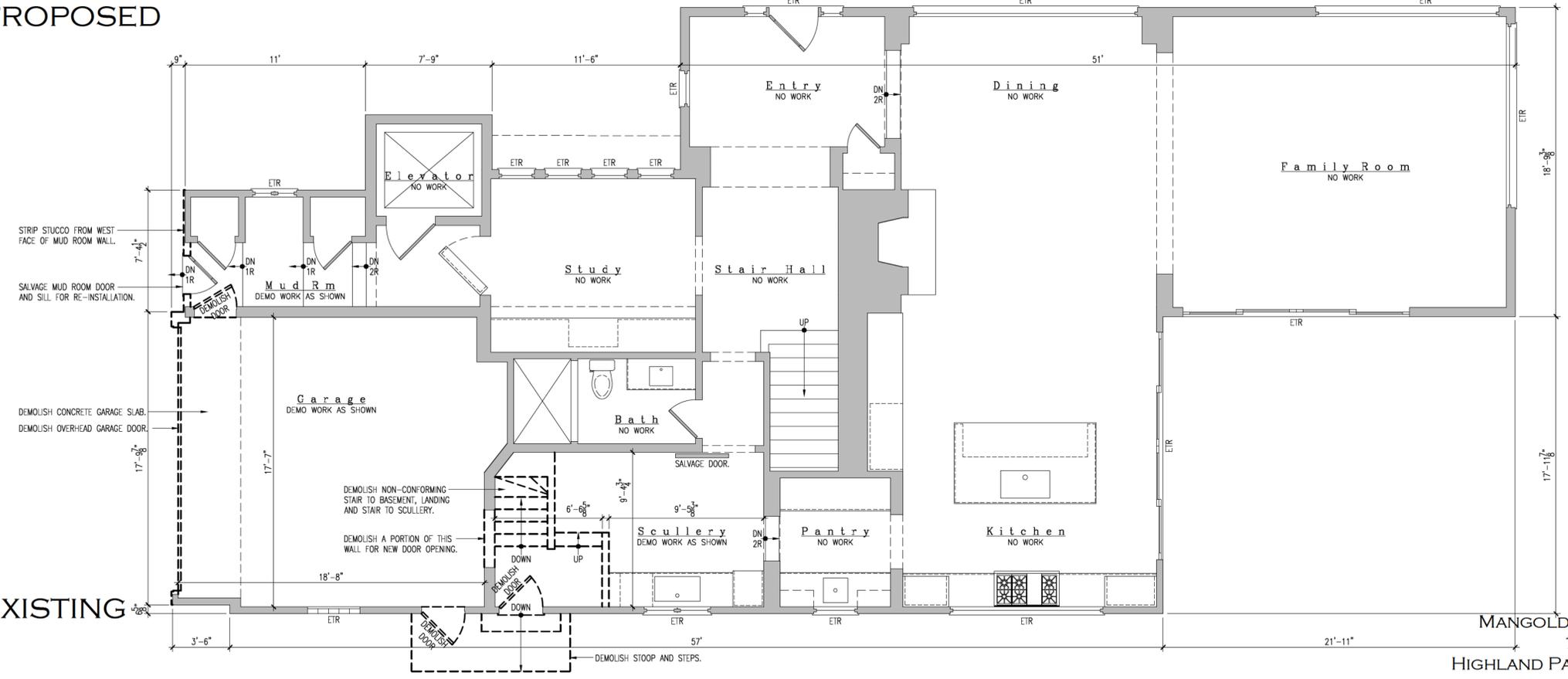
MANGOLD ARCHITECTURE LLC
 130 SHERIDAN ROAD
 HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE

335 SHERIDAN ROAD - WINNETKA



FIRST FLOOR PLAN - PROPOSED



FIRST FLOOR PLAN - EXISTING

SCALE: 1/2" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE

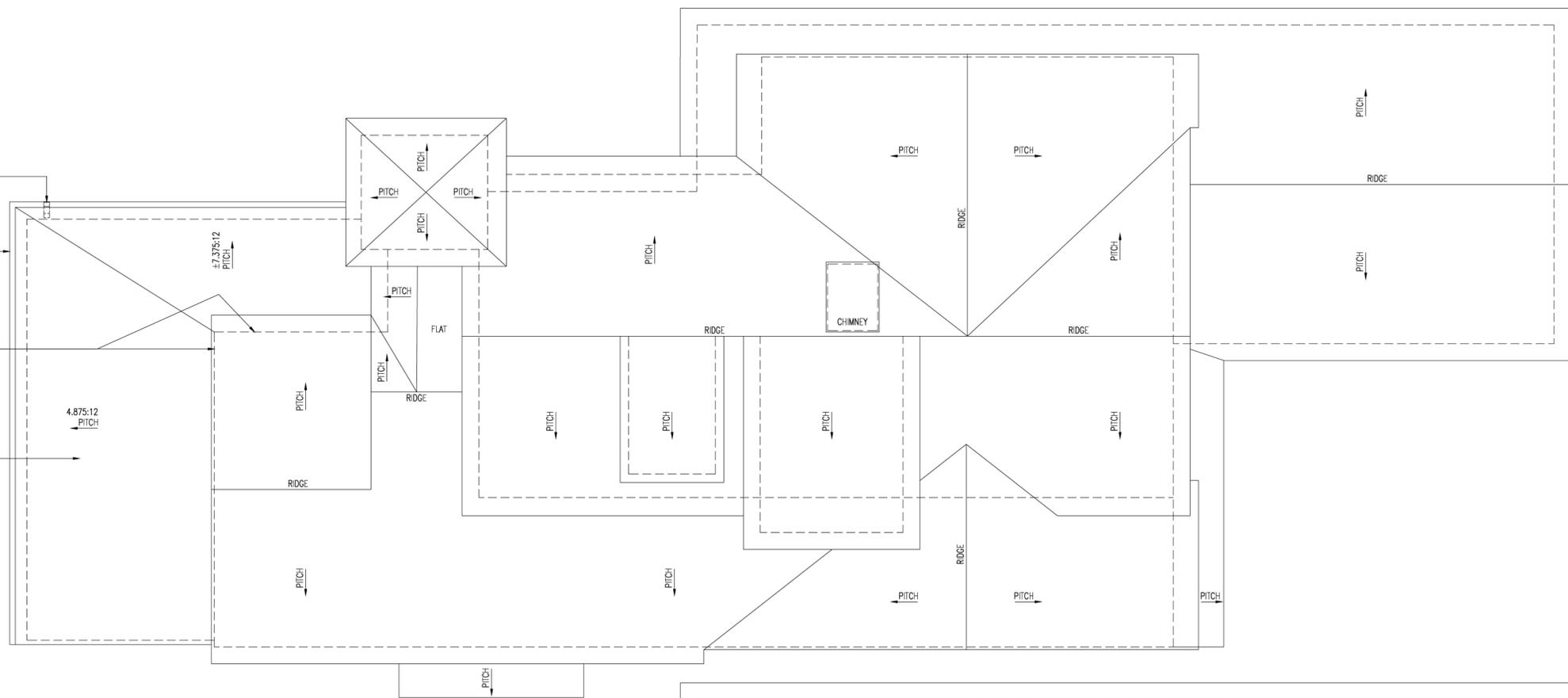
335 SHERIDAN ROAD - WINNETKA

NEW DOWNSPOUT TO MATCH
EXISTING COLOR, PROFILE AND SIZE.

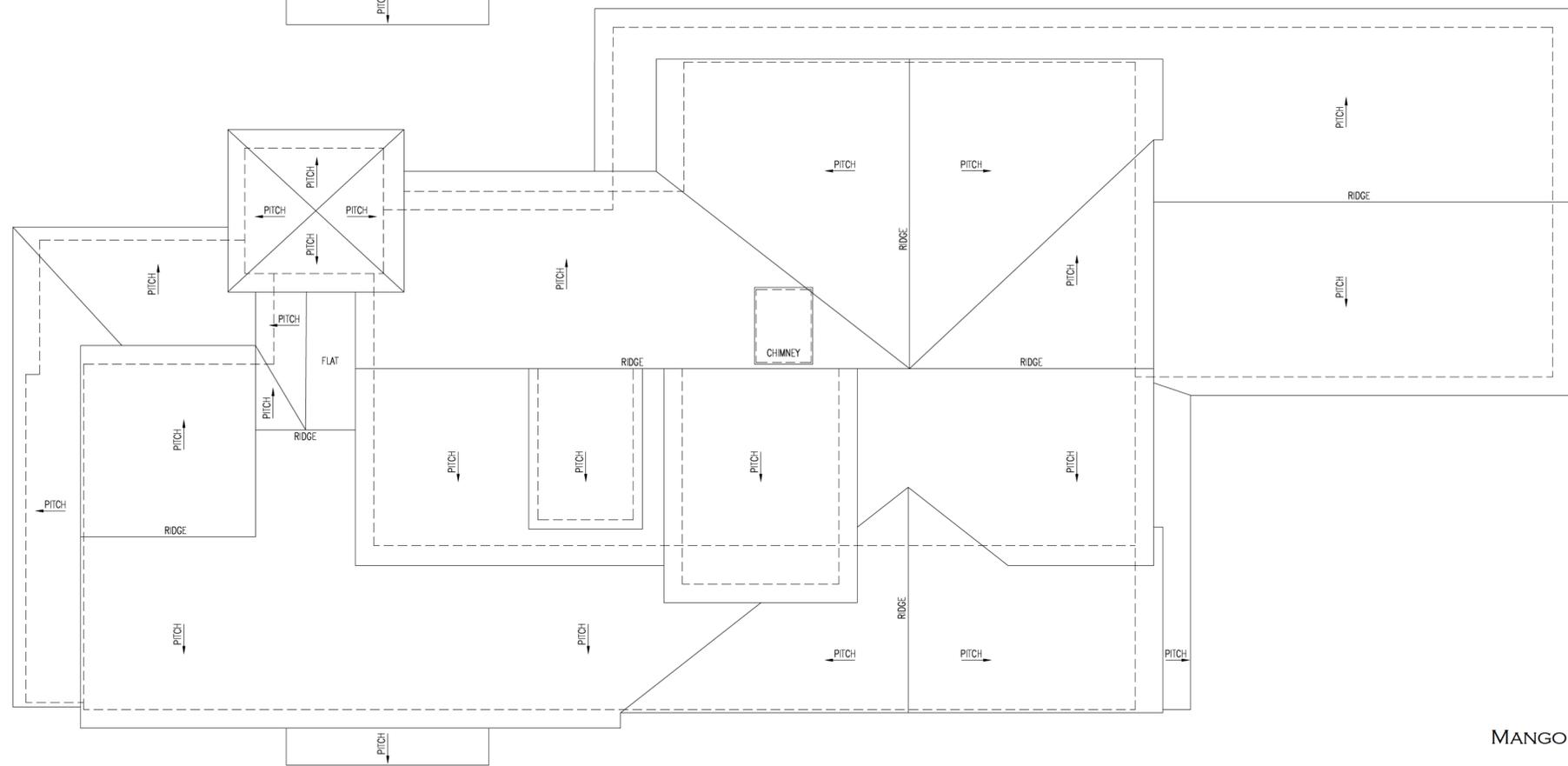
NEW GUTTERS TO MATCH
EXISTING COLOR, PROFILE AND SIZE.

NEW SHEET METAL FLASHING WHERE
ROOF MEETS STUCCO.
COLOR: BRONZE TO MATCH GUTTERS.

NEW ROOFING AND EXTERIOR
TRIM TO MATCH EXISTING.



ROOF PLAN - PROPOSED



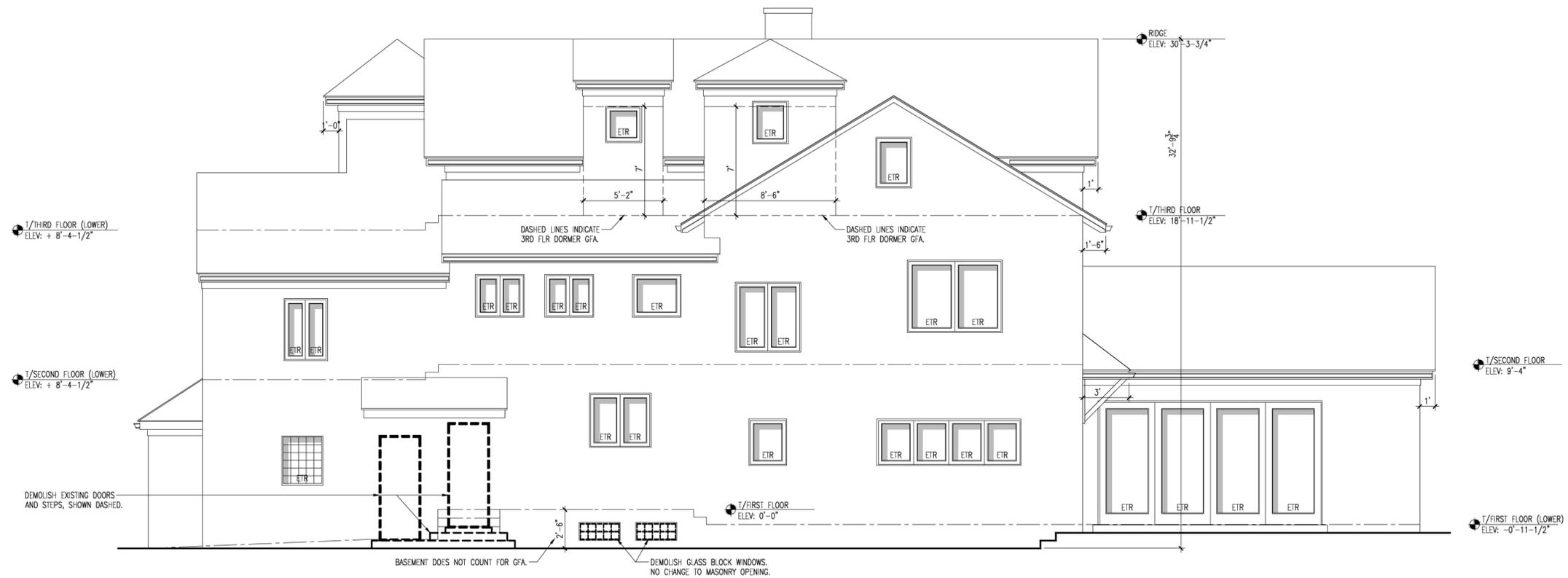
ROOF PLAN - EXISTING

SCALE: 1/2" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE

335 SHERIDAN ROAD - WINNETKA



EXISTING SOUTH ELEVATION



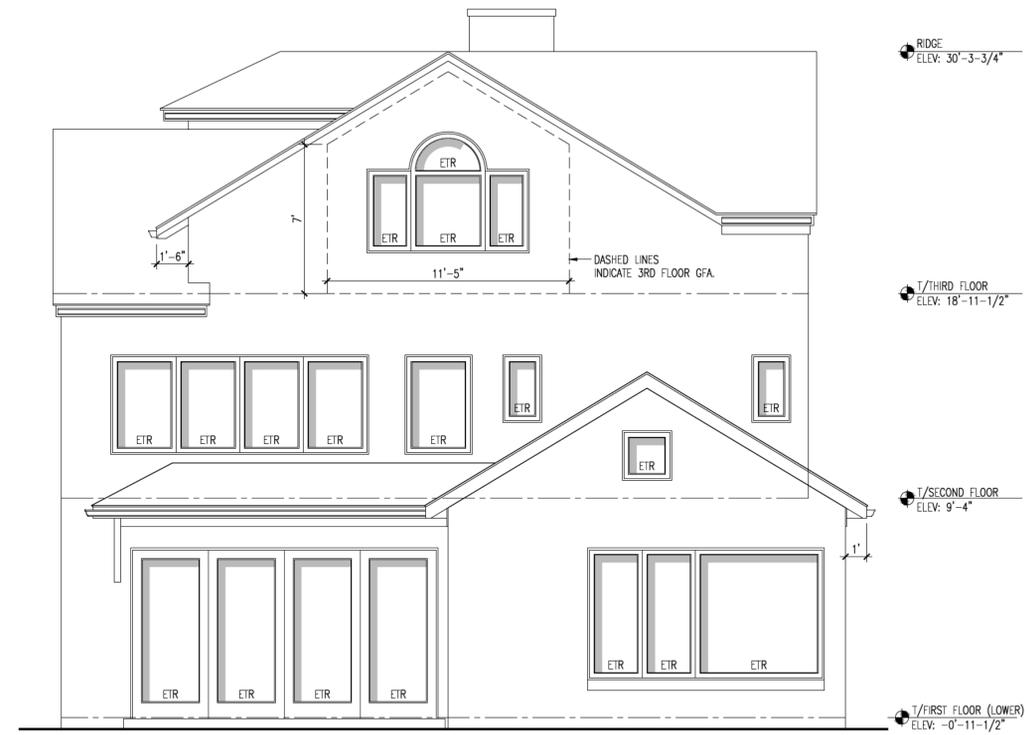
PROPOSED SOUTH ELEVATION

SOUTH ELEVATIONS

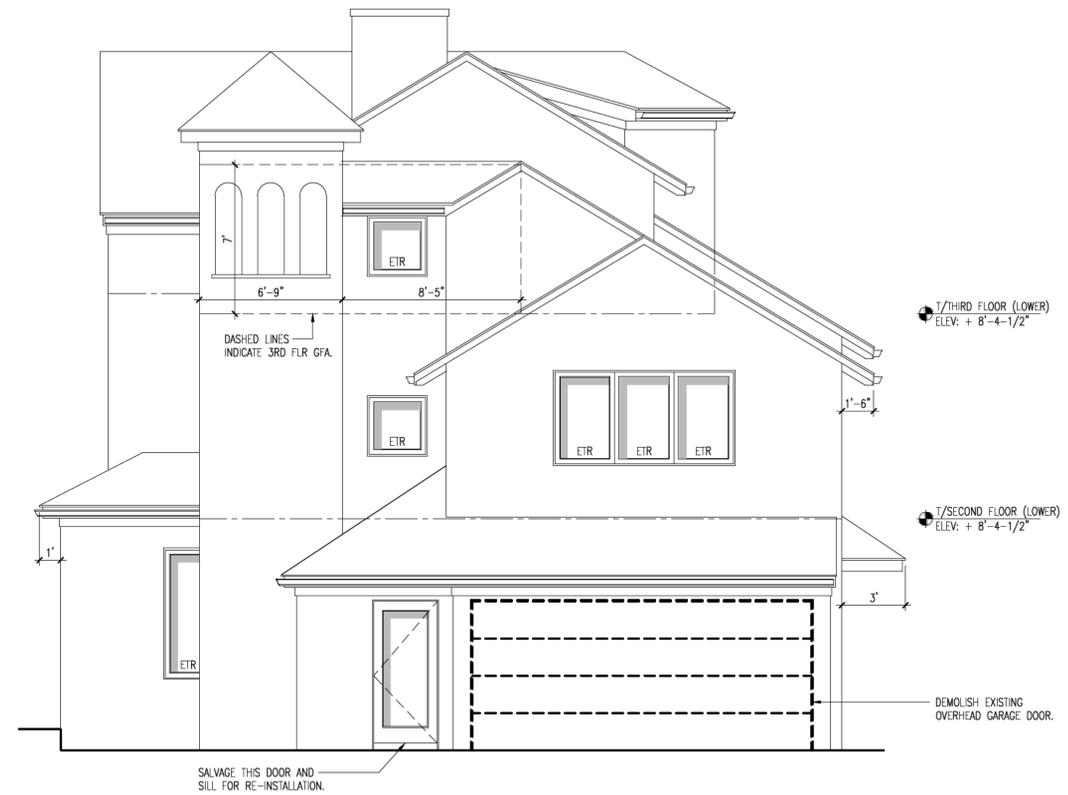
SCALE: 1/4" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE
335 SHERIDAN ROAD - WINNETKA



EXISTING EAST ELEVATION



EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION

EAST + WEST ELEVATIONS

SCALE: 1/4" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE
335 SHERIDAN ROAD - WINNETKA



EXISTING NORTH ELEVATION



PROPOSED NORTH ELEVATION

NORTH ELEVATIONS

SCALE: 1/4" = 1'-0"
DECEMBER 9, 2021

MANGOLD ARCHITECTURE LLC
130 SHERIDAN ROAD
HIGHLAND PARK ILLINOIS 60035

KIERSEY RESIDENCE
335 SHERIDAN ROAD - WINNETKA

EXHIBIT C

UNCONDITIONAL AGREEMENT AND CONSENT

TO: The Village of Winnetka, Illinois ("**Village**");

WHEREAS, Doug and Karen Kiersey (collectively, the "**Owner**") is the owner of record of that certain real property located at 335 Sheridan Road, Winnetka, Illinois ("**Property**"); and

WHEREAS, Resolution No. ZBA-01-2022, adopted by the Winnetka Zoning Board of Appeals on January 10, 2022 ("**Resolution**"), grants variations to construct a one-story addition on the Subject Property; and

WHEREAS, Section 7.A.2 of the Resolution provides, among other things, that the Resolution will be of no force or effect unless and until the Owner has filed, within 60 days following the passage of the Resolution, its unconditional agreement and consent to accept and abide by each and all of the terms, conditions, and limitations set forth in the Resolution;

NOW, THEREFORE, the Owner does hereby agree and covenant as follows:

1. The Owner hereby unconditionally agrees to accept, consent to, and abide by each and all of the terms, conditions, limitations, restrictions, and provisions of the Resolution.
2. The Owner acknowledges that public notices and virtual public hearings have been properly given and held with respect to the adoption of the Resolution, have considered the possibility of the revocation provided for in the Resolution, and agree not to challenge any such revocation on the grounds of any procedural infirmity or a denial of any procedural right.
3. The Owner acknowledges and agrees that the Village is not and will not be, in any way, liable for any damages or injuries that may be sustained as a result of the Village's granting of the variations, and that the Village's approval of the variations does not, and will not, in any way, be deemed to insure the Owner against damage or injury of any kind and at any time.
4. The Owner hereby agrees to hold harmless and indemnify the Village, the Village's corporate authorities, and all Village elected and appointed officials, officers, employees, agents, representatives, and attorneys, from any and all claims that may, at any time, be asserted against any of such parties in connection with the Village's adoption of the Resolution granting the variations for the Property.

[SIGNATURES ON FOLLOWING PAGE]

Dated: _____, 2022.

ATTEST

OWNER

By: _____

By: _____

Doug Kiersey

Name: _____

By: _____

Karen Kiersey

RESOLUTION NO. ZBA-01-2022
VILLAGE OF WINNETKA
ZONING BOARD OF APPEALS
DENIAL OF ZBA CASE NO. 22-01-V – 335 SHERIDAN ROAD

WHEREAS, Doug and Karen Kiersey, (collectively, the “Applicant”) are the owners of the property commonly known as 335 Sheridan Road, Winnetka, Illinois, and legally described in **Exhibit A** attached to and, by this reference, made part of this Resolution (“**Subject Property**”); and

WHEREAS, the Subject Property is located in the R-2 Single Family Residential District; and

WHEREAS, the Subject Property is improved with a single family residence with an attached garage that is nonconforming with respect to (i) the minimum required front yard setback from the west property line; (ii) the minimum required side yard setback; and (iii) the maximum permitted width for a front-facing attached garage door (“**Building**”); and

WHEREAS, the Applicant desires to construct a one-story addition to the Building on the Subject Property that would (i) provide less than the minimum required front yard setback from the west property line; (ii) provide less than the minimum required side yard setback; and (iii) exceed the maximum permitted width for a front-facing attached garage door (“**Proposed Improvement**”); and

WHEREAS, pursuant to Section 17.30.050 of the Winnetka Zoning Ordinance (“**Zoning Ordinance**”), the Subject Property is required to provide a minimum front yard setback of at least 50 feet; and

WHEREAS, pursuant to Section 17.30.060 of the Zoning Ordinance, the Subject Property is required to provide a minimum side yard setback of at least 7.1 feet; and

WHEREAS, pursuant to Section 17.30.110 of the Zoning Ordinance, the Subject Property is allowed a maximum width of 9 feet for an individual front-facing attached garage door; and

WHEREAS, the Applicant desires to construct the Proposed Improvement on the Subject Property with (i) a front yard setback that is less than the required 50 feet, a violation of Section 17.30.050 of the Zoning Ordinance, (ii) a side yard setback from the south property line that is less than the required 7.1 feet, a violation of Section 17.30.060 of the Zoning Ordinance, and (iii) a front-facing attached garage door that exceeds the maximum permitted width of 9 feet for an individual door, a violation of Section 17.30.110 of the Zoning Ordinance; and

WHEREAS, the Applicant filed an application for variations from Section 17.30.050, Section 17.30.060, and Section 17.30.110 of the Zoning Ordinance to permit the Proposed Improvement on the Subject Property with (i) a front yard setback of 25.85 feet, (ii) a south side yard setback of 6.3 feet, and (iii) a front-facing attached garage door measuring 16 feet in width to accommodate the proposed addition (“**Requested Variations**”); and

WHEREAS, a public notice for the Requested Variations was duly published on December 23, 2021 in the “Winnetka Talk” and notice was mailed to the owners of record of all properties within 250 feet of the Subject Property as required by the Zoning Ordinance; and

WHEREAS, in accordance with social distancing requirements, Governor Pritzker's Executive Order 2021-32 and Section 7(e) of the Illinois Open Meetings Act, a virtual public hearing was held by the Winnetka Zoning Board of Appeals during a virtual meeting held on January 10, 2022 for the purpose of considering the Requested Variations with the final decision being rendered at the Zoning Board of Appeal's Regular Meeting on January 10, 2022; and

WHEREAS, the Zoning Board of Appeals has considered the evidence presented, as follows:

1. Application for the Requested Variations submitted by the Applicant, dated December 10, 2021, including all attachments as well as all subsequent additions and revisions to these application materials and attachments; and
2. All written and oral testimony concerning the Requested Variations.

WHEREAS, the Zoning Board of Appeals has determined that the Requested Variations **do not** satisfy the standards for a variation provided in Sections 17.60.040 and 17.60.050 of the Winnetka Zoning Ordinance because (i) the Requested Variations are not in harmony with the general purpose and intent of the Winnetka Zoning Ordinance; (ii) the Subject Property can yield a reasonable return if it is permitted to be used only under the conditions allowed for the R-2 Single Family Residential District; and (iii) the plight of the Applicant is not due to unique circumstances; and

WHEREAS, the Zoning Board of Appeals has determined that it will not serve and be in the best interest of the Village and its residents to approve the Requested Variations;

NOW, THEREFORE, BE IT RESOLVED, by the Zoning Board of Appeals of the Village of Winnetka, Cook County, Illinois, that:

SECTION 1. RECITALS. The foregoing recitals are incorporated into, and made part of, this Resolution as the findings of the Zoning Board of Appeals.

SECTION 2. DENIAL OF VARIATIONS. In accordance with and pursuant to Chapter 17.60 of the Winnetka Zoning Ordinance and the home rule powers of the Village, the Zoning Board of Appeals denies the Requested Variations for the Subject Property.

SECTION 3. EFFECTIVE DATE. This Resolution will be effective upon passage by the Zoning Board of Appeals in the manner required by law.

[SIGNATURES ON FOLLOWING PAGE]

ADOPTED this 10th day of January 2022, pursuant to the following roll call vote:

AYES: _____

NAYS: _____

ABSENT: _____

ABSTAIN: _____

Signed:

Matthew Bradley, Chairperson

Countersigned:

Village Clerk

EXHIBIT A
LEGAL DESCRIPTION OF SUBJECT PROPERTY

Lot 4 in Clay & Zimmerman's Subdivision of Lots 3 and 4 in Block 1 in Dale's Addition to Winnetka, a Subdivision of the North 7.5 Chains of the Southeast Fractional Quarter of Fractional Section 21, Township 42 North, Range 13, East of the Third Principal Meridian, and also a strip of land lying East of and adjoining said Lot 4, and extending Easterly to the shore of Lake Michigan and lying between the Northerly and Southerly lines, extended Easterly to the shore of Lake Michigan of said Lot 4 in Winnetka, in Cook County, Illinois.

Commonly known as 335 Sheridan Road, Winnetka, Illinois.

Parcel Index Number: 05-21-403-007-0000



MEMORANDUM VILLAGE OF WINNETKA

COMMUNITY DEVELOPMENT DEPARTMENT

TO: ZONING BOARD OF APPEALS
FROM: ANN KLAASSEN, SENIOR PLANNER
DATE: JANUARY 5, 2022
SUBJECT: 455 LINDEN STREET - VARIATIONS (CASE NO. 22-02-V2)

INTRODUCTION

On January 10, 2022, the Zoning Board of Appeals (ZBA) is scheduled to hold a virtual public hearing, in accordance with social distancing requirements and Governor Pritzker's Executive Orders and Section 7(e) of the Illinois Open Meetings Act, on an application submitted by Linden Winnetka LLC (the "Applicant"), as the owner of the property located at 455 Linden Street (the "Subject Property"). The Applicant requests approval of the following zoning variations to allow construction of a new four-unit multi-family residential building with below grade structured parking on the Subject Property:

1. Roofed Lot Coverage of 4,728.7 square feet, whereas a maximum of 3,980.72 square feet is permitted, a variation of 747.98 square feet (18.79%) [Section 17.32.010.F. – Intensity of Use of Lot];
2. Corner Yard Setback of 16.36 feet from Cherry Street to accommodate the proposed below grade structure parking, whereas a minimum of 19.53 feet is required, a variation of 3.17 feet (16.23%) [Section 17.32.010.H. – Setback]; and
3. Side Yard Setback of 0.46 feet to accommodate the proposed grade structure parking, whereas a minimum of 12 feet is required, a variation of 11.54 feet (96.17%) [Section 17.32.010.I. – Side Yard].

As will be discussed later in this report, the Applicant has also submitted an application for a Certificate of Appropriateness for the proposed development. The Design Review Board (DRB) considered the Certificate of Appropriateness on September 29, 2021, and amended plans on October 21, 2021, and November 18, 2021. At the November 18 meeting, the DRB voted unanimously to recommend approval of the proposed development subject to use of a darker brick on the south building elevation, where the entrance is located. For the DRB's consideration of the proposed development, staff received three written comments from the public, which are included in this report as Attachment D. As of the date of this memo, staff has not received any additional written comments from the public regarding this application.

A mailed notice was sent to property owners within 250 feet of the Subject Property in compliance with the Zoning Ordinance. The hearing was properly noticed in the *Winnetka Talk* on December 23, 2021.

The Village Council has final jurisdiction on this request as only the Council has the authority to grant variations for any new principal building.

PROPERTY DESCRIPTION

The Subject Property, which consists of approximately 0.23 acres (9,952 square feet), is located on the northeast corner of the intersection of Linden and Cherry Streets. Because the lot area is less than 10,000 square feet, redevelopment of the Subject Property does not require approval of a planned development nor may the Applicant request planned development approval. The Subject Property contains an existing structure, which was a single-family home that had been converted into two residential units. The site also contains a detached garage. Figures 1 through 3 below and on the following page identify the Subject Property.

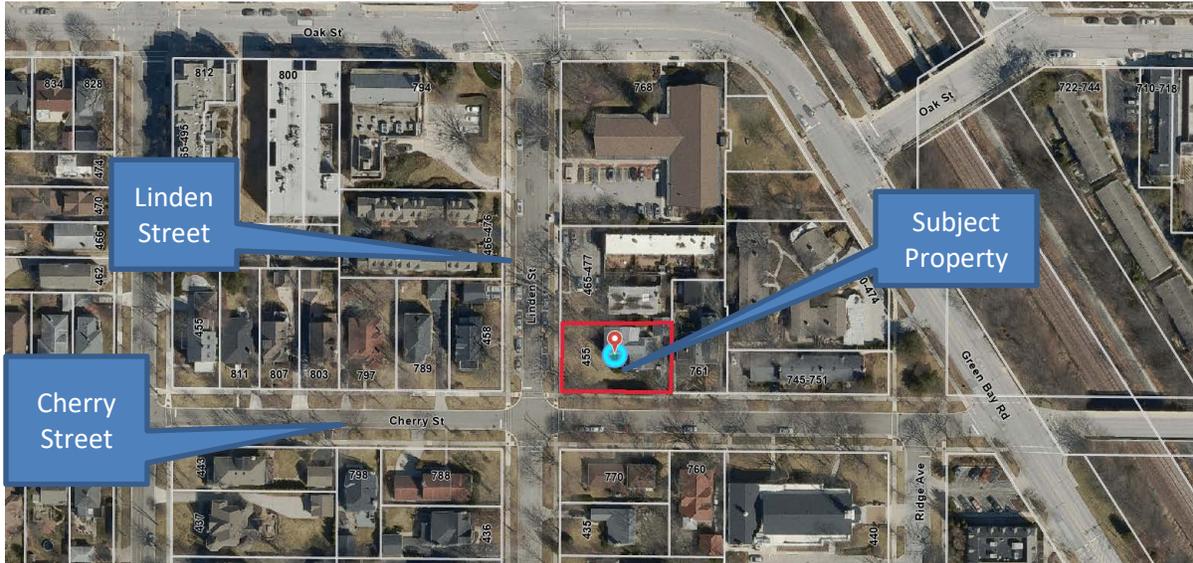


Figure 1 – Aerial Map



Figure 2 – Subject Property – Looking Northwest



Figure 3 – Subject Property – South Elevation (Cherry Street)

The Land Use Map of the 2020 Comprehensive Plan designates the Subject Property as appropriate for “Single Family Residential” uses. The Subject Property is located in a transitional area with condos, townhouses, and single-family residential uses in the immediate vicinity. The Land Use Plan Map designates the property to the north as appropriate for “Townhouse Residential” and the properties to the east, west and south as appropriate for “Single Family Residential” (see Figure 4).

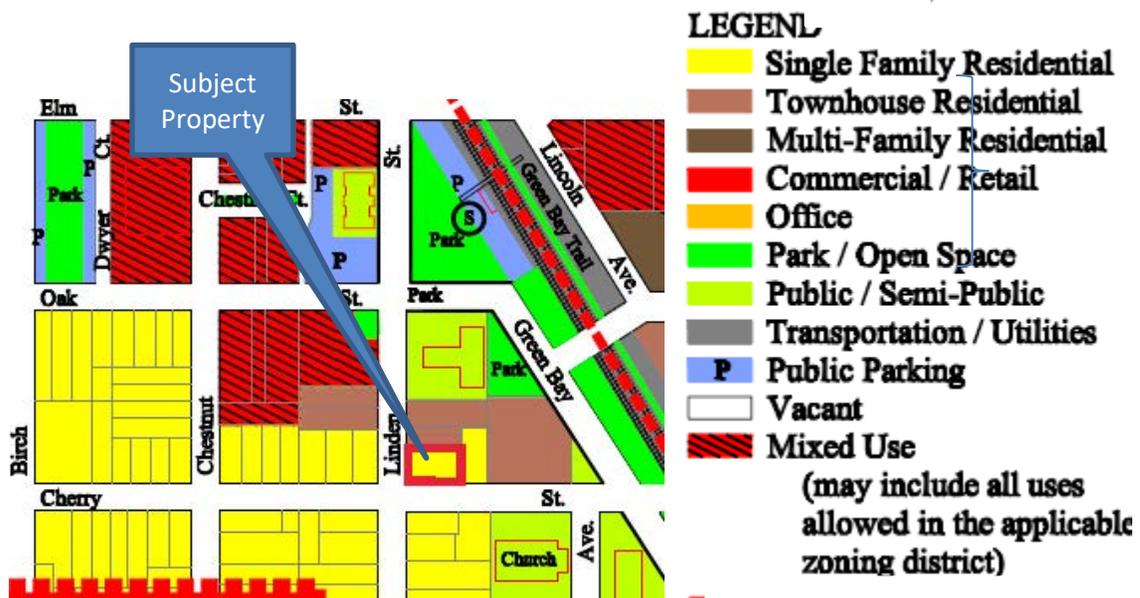


Figure 4 – Comprehensive Plan Land Use Map

PROPOSED PLAN

The proposed development of the Subject Property, referred to as Cherry/Linden Homes, consists of four single-level units, ranging in size from 1,690 square feet to 1,698 square feet, in two stories with 10 enclosed below grade parking spaces. The vehicular access to the site would be provided by one driveway that runs along the east property line, in the general location of the existing driveway. The two required guest parking spaces would be provided in the below grade parking garage, with additional street parking available on Cherry and Linden Streets.

The below grade structured parking would extend beyond portions of the north and south building walls above by approximately 11.5 feet to the north and 3.17 feet to the south. These areas are identified in yellow in Figure 6 below. The underground parking that extends beyond the front of the building, along Cherry Street, would be covered with lawn. A terrace is proposed on the north side of the building above the underground parking, with a raised planter to accommodate landscape screening.

The air conditioning compressors would be located in the approximate center of the roof, concealed from view. The proposed driveway and front walk would be concrete. The plans do not identify the location of refuse and recycling containers or exterior lighting.

Excerpts of the proposed site plan/landscape plan, floor plans, and building elevations of the proposed development are provided below and on the following pages as Figures 6 through 13. The complete set of plans are provided in the application materials (Attachment B).



Figure 6 – Site Plan/Landscape Plan

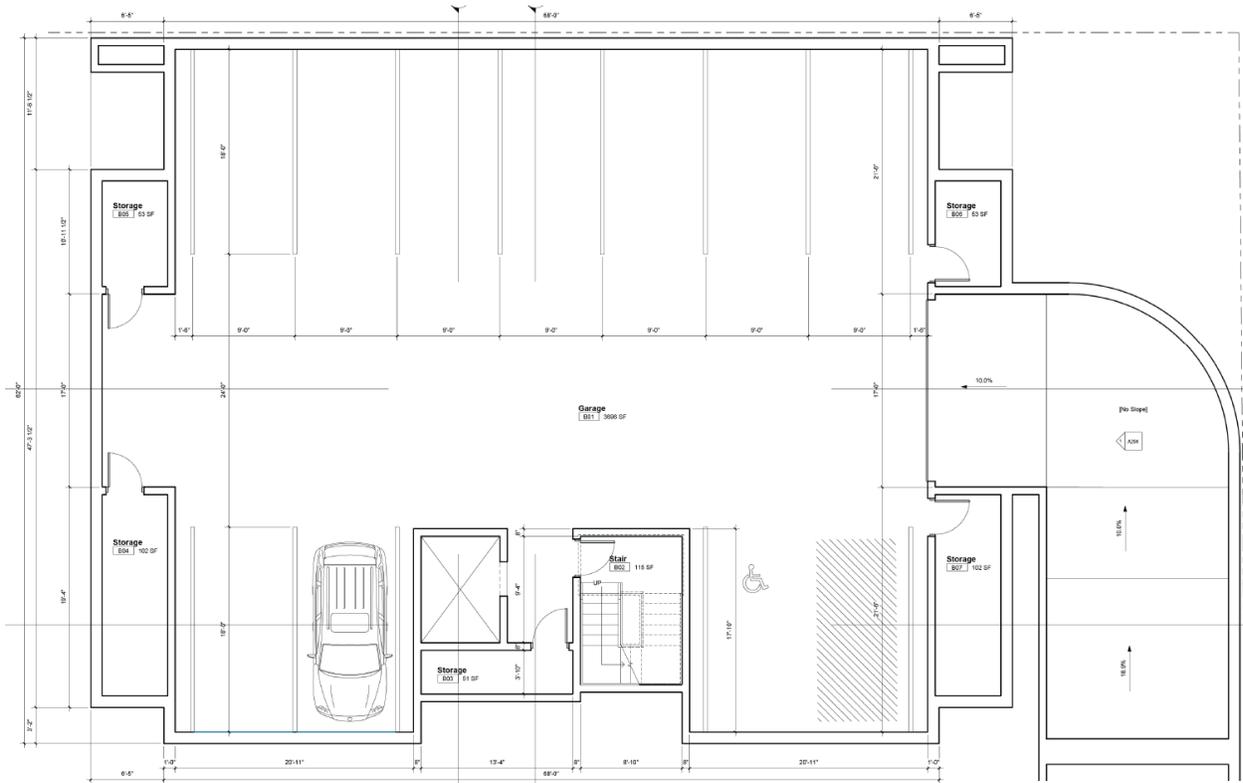
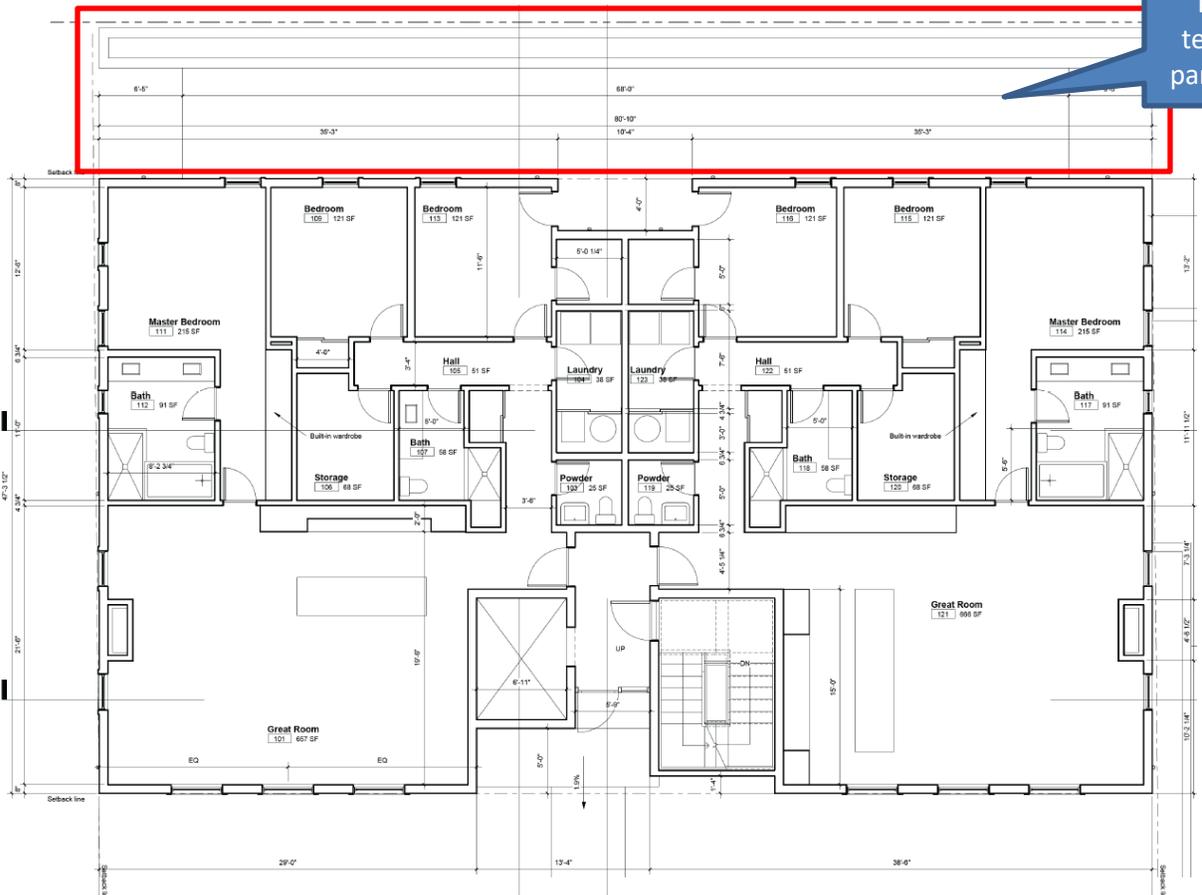


Figure 7 – Basement Floor Plan



Proposed terrace with parking below

Figure 8 – First Floor Plan

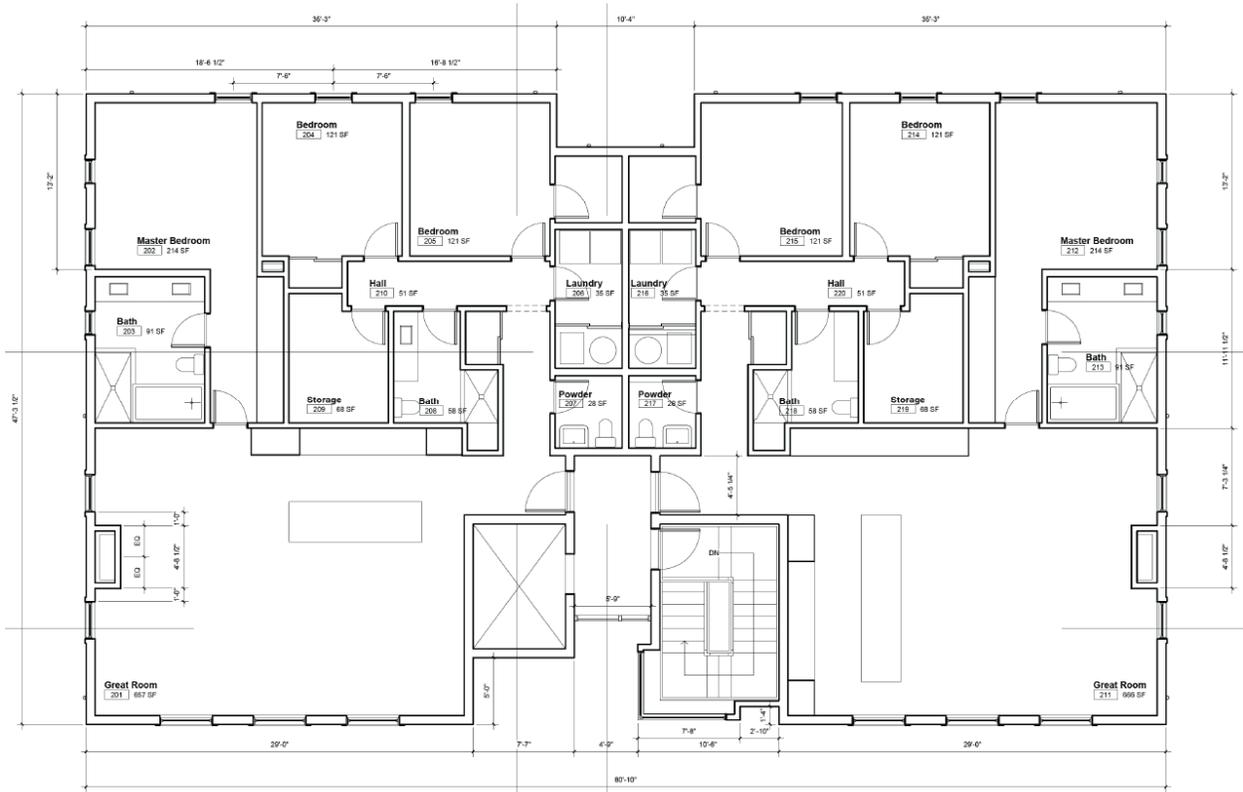


Figure 9 – Second Floor Plan



Figure 10 – South Building Elevation – Cherry Street



Figure 11 – West Building Elevation – Linden Street



Figure 12 – Rendered view from Southeast



Figure 13 – Proposed North Building Elevation

The Village stormwater regulations require that the development provide detention for the maximum allowed impermeable lot coverage, which in this case is 60% of the lot area. The Applicant is currently working with a civil engineer to develop an on-site detention system. At this stage of their design, they anticipate providing the required detention in oversized pipes or chambers on-site. Once civil engineering plans are submitted by the Applicant, the Village Engineer will review the proposed stormwater detention system for compliance with the Village stormwater regulations. Figure 14 below represents the Subject Property’s proximity to the floodplain; the cyan represents the 100-year flood area, the orange represents the 500-year flood area.

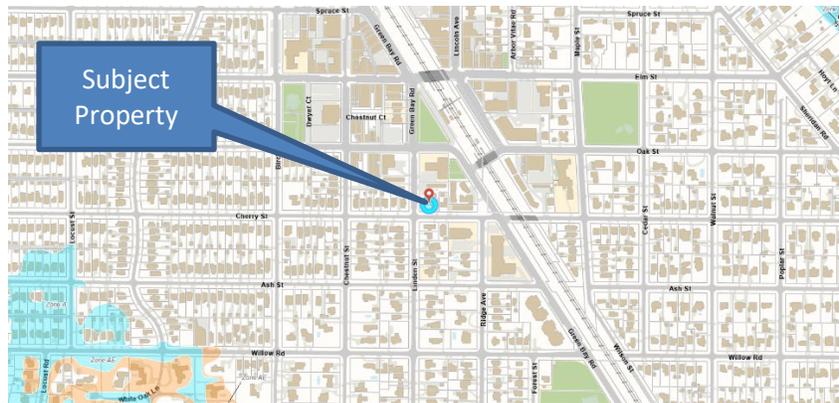


Figure 14 – GIS Floodplain Map

REQUESTED ZONING RELIEF

The attached zoning matrix highlights the proposed development’s compliance with the B-1 zoning district (Attachment A). Three variations are being requested: (1) roofed lot coverage (RLC); (2) minimum corner yard setback; and (3) minimum side yard setback.

Roofed Lot Coverage. The lot area allows a maximum roofed lot coverage of 3,980.72 square feet. The proposed building consists of 4,728.7 square feet, requiring a variation of 747.98 square feet (18.79%). Approximately 968 square feet of the below grade garage that extends beyond the floors above is included in the roofed lot coverage.

Corner Yard Setback (Cherry Street). A corner yard setback of 19.53 feet is required from Cherry Street. The proposed development would provide a setback of 16.36 feet, which requires a variation of 3.17 feet (16.23%). The proposed setback is measured to the below grade garage. The above grade portion of the building would be setback 19.53 feet.

Side Yard Setback. A side yard setback of 12 feet is required from the north property line. The proposed building, as measured to the below grade garage, would provide a setback of 0.46 feet, requiring a variation of 11.54 feet (96.17%). The above grade portion of the building would be setback 12 feet.

CONSIDERATION BY OTHER ADVISORY BOARDS/COMMISSIONS

As previously noted, the Design Review Board first considered a Certificate of Appropriateness for the proposed development at a special meeting on September 29, 2021. After hearing comments and concerns from the Board and members of the public, the Applicant requested a continuance until the October 21, 2021, DRB meeting. The primary concerns expressed at the September DRB meeting were regarding the design of the roof and the overall building design fitting into the character of the neighborhood and the Village as a whole.

In response to the comments at the September DRB meeting, the Applicant submitted revised plans for consideration by the DRB at its meeting on October 21, 2021. The primary concerns the DRB had in response to the revised plans were: (1) the window organization, mass and context of the north building elevation, as it related to the neighboring properties; (2) the mass of the building encroaching on homes facing Linden Street; and (3) window placement on the south elevation. After hearing the comments of the DRB, the Applicant requested a second continuance until the November 18 DRB meeting.

For a second time, the Applicant submitted revised plans in response to the comments at the October DRB meeting. The DRB considered the second set of revised plans on November 18. The only concern the Board had was the light sandstone color of the accent brick on the south building elevation facing Cherry Street. The DRB and the Applicant agreed that a darker charcoal color brick would be better for the design. Ultimately, the DRB voted unanimously to recommend approval of the Certificate of Appropriateness subject to use of brick color 17 or 18 (dark iron). The plans submitted by the Applicant for consideration by the ZBA include the use of the dark iron brick. To provide some context and see how the project evolved through the DRB review process, Figure 15 below includes the proposed south elevations presented at the three DRB meetings.



Figure 15 – 455 Linden South Elevation (Cherry Street)

The Applicant is also required to submit a demolition application for the existing building on the Subject Property. The Landmark Preservation Commission (LPC) will consider the demolition application once the application is submitted. A mailed notice of the LPC meeting will be sent to property owners within 250 feet of the Subject Property. The Village Council will consider the zoning relief and the certificate of appropriateness once the LPC has conducted its review of the demolition application.

FINDINGS

Does the ZBA find that the requested variations meet the standards for granting such variations; and if so, is the ZBA prepared to make a recommendation to the Village Council regarding the requested relief? If so, a ZBA member may wish to make a motion recommending approval or recommending denial based upon the following:

Move to recommend **approval [denial]** of the following variations to allow construction of a new four-unit multi-family residential building with below grade structured parking granting:

1. Roofed Lot Coverage of 4,728.7 square feet, whereas a maximum of 3,980.72 square feet is permitted, a variation of 747.98 square feet (18.79%) [Section 17.32.010.F. – Intensity of Use of Lot];
2. Corner Yard Setback of 16.36 feet from Cherry Street, whereas a minimum of 19.53 feet is required, a variation of 3.17 feet (16.23%) [Section 17.32.010.H. – Setback]; and
3. Side Yard Setback of 0.46 feet, whereas a minimum of 12 feet is required, a variation of 11.54 feet (96.17%) [Section 17.32.010.I. – Side Yard.

The Zoning Board of Appeals finds, based on evidence in the record or a public document, that the variations requested are **in harmony [not in harmony]** with the general purpose and intent of the Zoning Ordinance and that each of the following eight standards on which evidence is required pursuant to Section 17.60.050 of this Code **have been met [have not been met]** in connection with this variation application **[subject to the following conditions...]**

The eight standards to consider when granting a variation are as follows:

1. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that zone.
2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.
3. The variation, if granted, will not alter the essential character of the locality.
4. An adequate supply of light and air to the adjacent property will not be impaired.
5. The hazard from fire and other damages to the property will not be increased.
6. The taxable value of the land and buildings throughout the Village will not diminish.
7. The congestion in the public street will not increase.
8. The public health, safety, comfort, morals, and welfare of the inhabitants of the Village will not otherwise be impaired.

ATTACHMENTS

Attachment A: Zoning Matrix

Attachment B: Application Materials
Attachment C: Photographs of Area Properties
Attachment D: Public Correspondence

ATTACHMENT A

ZONING MATRIX

ADDRESS: 455 Linden Street

CASE NO: 22-02-V2

ZONING: B-1

ITEM	MIN/MAX REQUIREMENT	EXISTING	PROPOSED	DIFFERENCE BETWEEN PROPOSED & EXISTING	ZONING CODE COMPLIANCE (2)
Units Per Acre	4	2	4	N/A	OK
Min. Average Lot Width	60 FT	78.82 FT	N/A	N/A	OK
Max. Roofed Lot Coverage	3,980.72 SF (1)	N/A	4,728.7 SF	N/A	747.98 SF (18.79%) VARIATION
Max. Gross Floor Area	7,961.45 SF (1)	N/A	7,828 SF	N/A	OK
Max. Impermeable Lot Coverage	5,971.09 SF (1)	N/A	5,899.25 SF	N/A	OK
Min. Front Yard (West/Linden Street)	25 FT	N/A	25 FT	N/A	OK
Min. Corner Yard (South/Cherry Street)	19.53 FT	N/A	16.36 FT	N/A	3.17 FT (16.23%) VARIATION
Min. Side Yard (North)	12 FT	N/A	0.46 FT	N/A	11.54 FT (96.17%) VARIATION
Min. Rear Yard (East)	20 FT	N/A	20 FT	N/A	OK

NOTES:

(1) Based on lot area of 9,951.81 s.f.

(2) Variation amount is the difference between proposed and requirement.

ATTACHMENT B

Village of Winnetka
ZONING VARIATION APPLICATION

VILLAGE OF WINNETKA, ILLINOIS
DEPARTMENT OF COMMUNITY DEVELOPMENT

ZONING VARIATION APPLICATION

Case No. 22-02-V2

Property Information

Site Address: 455 Linden Street, Winnetka, Illinois 60093

Owner Information

Name: Linden Winnetka LLC

Primary Contact: Nadeya Khalil

Address: 2020 N California, Suite 208

Phone No. _____

City, State, ZIP: Chicago, IL 60647

Email: nkhalil@icon606.com

Date property acquired by owner: 12/05/2020

Architect Information

Name: Filoramo Talsma Architecture

Attorney Information

Name: Storino, Ramello & Durkin

Primary Contact: Chris Talsma

Primary Contact: Matthew G. Holmes

Address: 1765 N. Elston Ave

Address: 9501 W. Devon Ave, Suite 800

City, State, ZIP: Chicago, IL 60642

City, State, Zip: Rosemont, IL 60018

Phone No. (312) 635 1920

Phone No. (847) 318 9500

Email: _____

Email: mholmes@srd-law.com

Nature of any restrictions on property: _____

Brief explanation of variation(s) requested (attach separate sheet providing additional details): Inclusion of underground parking garage at proposed residential development requires variances for roofed lot coverage, sideyard setback, and corner yard setback. Each requested variance will be located below grade.

Property Owner Signature: 

Date: 12-8-2021

The Applicant proposes construction of a new four-unit, multi-family, two story residential building with below grade structure parking on the Subject Property. The current two story multi-family structure would be demolished. The site is zoned B-1 and the proposed multi-family use is fully compliant with the Village Zoning Code. Site plans for the proposed structure are attached hereto.

Applicant requests the following variations from the Village of Winnetka Zoning Code:

1. **Intensity of Use of Lot (Village Zoning Code 17.32.010(F)).** The lot area allows a maximum lot coverage of 3,980.72 square feet. As proposed, the building consists of approximately 4,729 square feet, requiring a variation of 748.28 square feet (18.79%). Approximately 979 square feet of the below grade garage that extends beyond the floors above is included in the lot coverage calculation.
2. **Corner Yard Setback (Cherry Street) (Village Zoning Code 17.32.010(H)(2)).** A corner yard setback of 19.53 feet is required from Cherry Street. The proposed development would provide a setback of 16.36 feet, which requires a variation of 3.17 feet (16.23%). The proposed setback is measured to the below grade garage. The above grade portion of the building would be setback 19.53 feet in compliance with the Village Zoning Code.
3. **Side Yard Setback (Village Zoning Code Section 17.32.010(I)).** A side yard setback of 12 feet is required from the north property line. As currently proposed, the building, as measured to the below grade garage, would provide a setback of 0.46 feet, requiring a variation. The below grade garage in the side-yard setback would be covered with a unroofed patio area which is a permitted exception in the setback pursuant to Village Zoning Code Section 17.32.020(A)(1). The principal structure would be set back 12 feet from the north property line.

The Applicant submits that it satisfies the standards for the above-referenced variations for the following reasons:

1. **The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by regulations in that district;**

The site plan for the subject construction calls for an underground parking facility to reduce street congestion and the presence of visible aboveground parking. The underground parking for the site is a necessary design element and the number of parking spaces cannot be reduced due to minimum parking requirements for the project. Modifications to the underground parking were made at request of the Village Design Review Board and Village staff to widen and reduce the incline of the entrance to the underground parking garage. The requested modifications increased the underground "footprint" of the garage area by approximately 136 square feet, necessitating a more significant variation for lot coverage and pushing the underground parking structure further into the required setbacks. The current design of the project received the unanimous support of the Village Design Review Board.

- 2. The plight of the owner is due to unique circumstances. Such circumstances must be associated with the characteristics of the property in question, rather than being related to the occupants.**

The subject rectangular corner lot has a shorter north-south lot line (78.82'). In order to prevent traffic congestion, the Applicant sought to maintain the existing orientation of the drive-way entrance on Cherry Street. In order to comply with request by the Village Design Review Board to widen and decrease the incline of the entrance to the underground parking garage, the underground parking lot was necessarily expanded further into required setbacks and outside the footprint of the existing building. The area of the expanded underground parking garage footprint is identified in yellow on the bulk calculation diagram attached hereto.

- 3. The variation, if granted, will not alter the essential character of the locality.**

The requested use and aboveground setbacks will be fully compliant with the zoning of the neighborhood. The requested variations will only be visible to the extent of a porch and decorative planter for arboreal screening on the north side of the project. The arboreal screening was added to the project to minimize visibility of the new construction at its northern elevation.

- 4. An adequate supply of light and air to adjacent property will not be impaired.**

The requested variations will have no impact on the supply of light or air to adjacent properties. With the exception of a deck and decorative planter, the requested variations are for improvements that are below grade and not visible from adjacent properties.

- 5. The hazard from fire and other damages to the property will not be increased.**

The requested variations will have no impact on the hazard from fire or other damages. The modern architecture of the proposed construction will be less susceptible to fire or other damage than the home currently located at the subject property.

- 6. The taxable value of the land and buildings throughout the Village will not diminish.**

The requested variations will have no impact on the taxable value of land and adjacent properties, as the requested variations will not result in any visible impact to adjacent parcels. The taxable value of the subject property will increase substantially with the inclusion of the new construction thereon.

- 7. The congestion in the public street will not increase.**

The requested variations are requested to accommodate an underground parking garage which will eliminate the need for street parking for the future residents of the proposed construction. The inclusion of underground parking with a gradual incline to the slope of the entrance will eliminate some of the traffic congestion issues in the vicinity of the proposed construction. The entrance to the parking garage maintains the existing curb-cut on Cherry to prevent changes in traffic flow.

8. **The public health, safety, comfort, morals and welfare of the inhabitants of the Village will not be otherwise impaired.**

The requested variations will not impair the health, safety, comfort, morals or welfare of the inhabitants of the Village of Winnetka.



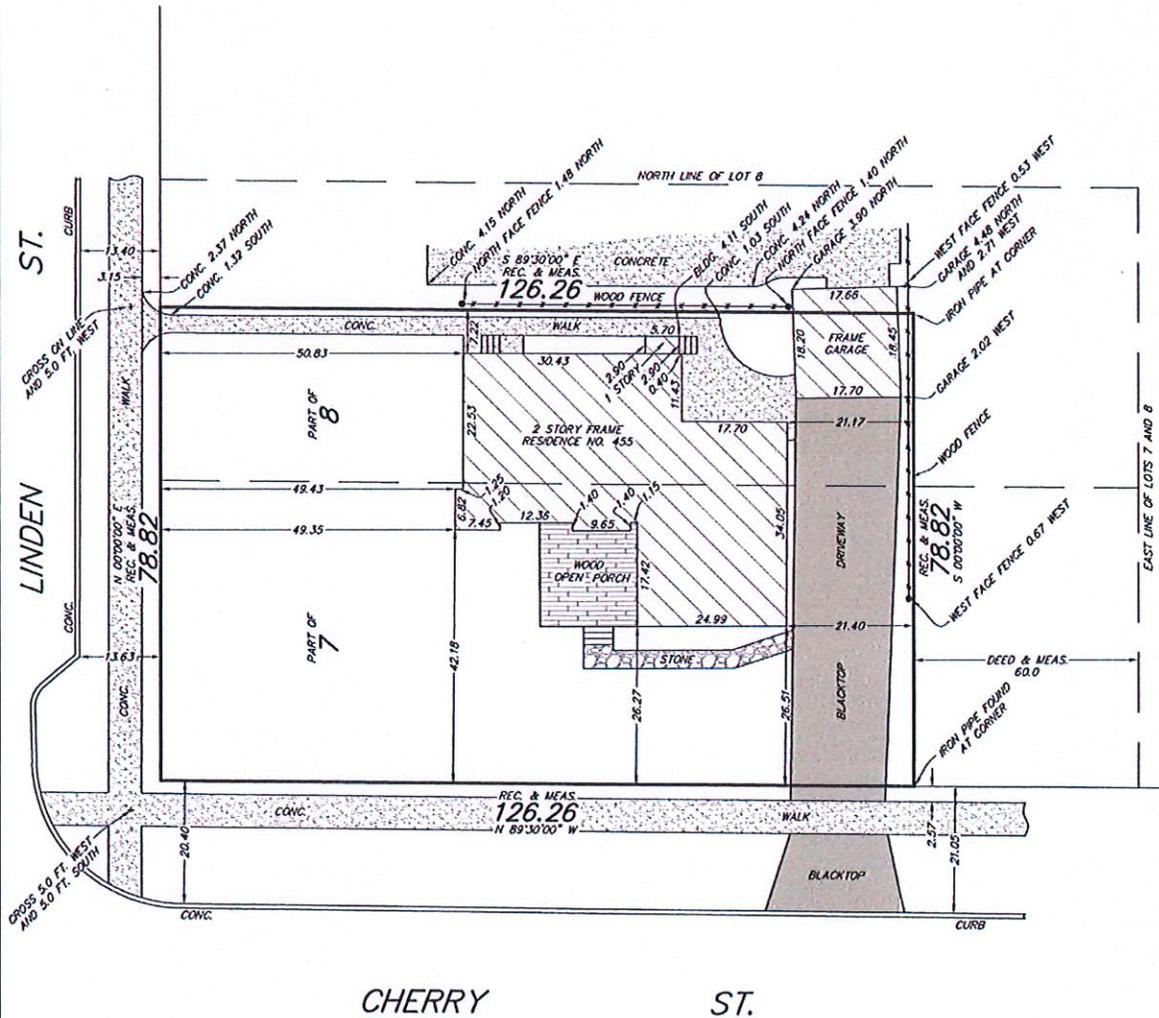
Scale - 1 inch = 20 feet

Jens K. Doe
Professional Land Surveyors, P.C.
PLAT OF SURVEY

ORDER NO.
20-0784

of
LOT 7 (EXCEPT THE EAST 60 FEET THEREOF) AND LOT 8 (EXCEPT THE EAST 60 FEET THEREOF AND EXCEPT THE NORTH 21.18 FEET THEREOF) IN THE SUBDIVISION OF BLOCK 36 IN WINNETKA, IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 20, TOWNSHIP 42 NORTH, RANGE 13, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 5, 1893 AS DOCUMENT 1842994, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 455 LINDEN ST., WINNETKA, ILLINOIS.



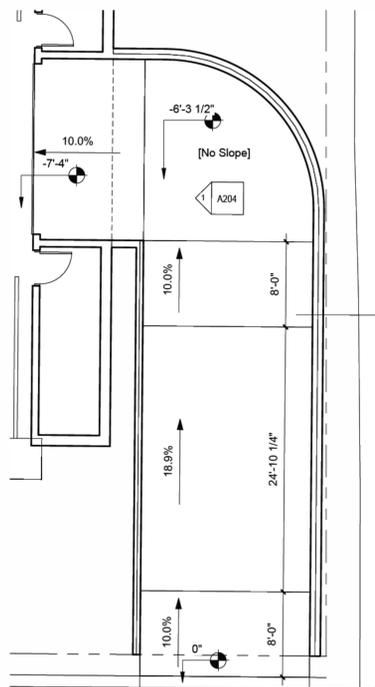
NOTE:
The legal description noted on this plat is a copy of the land survey order placed by the client and for accuracy MUST be compared with the Deed. For building restrictions refer to your Abstract, Deed or Contract.
Compare distances between points before building and report any discrepancy to this office immediately.
Dimensions shown hereon are not to be assumed or scaled.
Dimensions shown hereon are in feet and decimal parts thereof.

Field work completion date: November 11, 2020.
ORDERED BY:
LAW OFFICE OF ROBIN KING

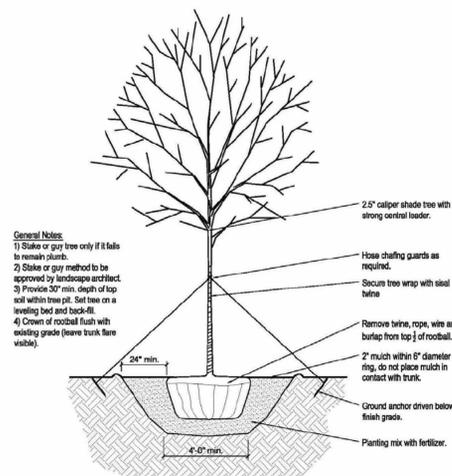
State of Illinois)
County of Cook)
JENS K. DOE PROFESSIONAL LAND SURVEYORS, P.C., does hereby certify that a survey has been made under its direction, by an Illinois Professional Land Surveyor and that the plat hereon shown is a correct representation of said survey.
Chicago, Illinois, Dated this 13th Day of November
This professional service conforms to the current Illinois minimum standards for a boundary survey.

JENS K. DOE PROFESSIONAL
LAND SURVEYORS, P.C.

Kevin Duffy
KEVIN DUFFY
HARWOOD HTS
ILLINOIS
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3228
LICENSE EXPIRATION: 11 - 30 - 20
ZBA Agenda Packet - 455 Linden - Page 18



3 Driveway Detail
1/8" = 1'-0"



2 Tree Planting Detail
1/4" = 1'-0"



1 Site
1" = 10'-0"

LANDSCAPE NOTES

- All plant material shall be high-quality nursery-grown stock. Standard "B-Grade" or "Park Grade" plants are not acceptable.
- All plant material shall be installed free of disease and in a manner that ensures the availability of sufficient soil and water to sustain healthy growth.
- All plant material shall be planted with a minimum of 5" of organic soil and mulched to a depth of 3".
- All plant material shall be planted in a manner which is not intrusive to utilities or pavement.
- All shrub beds and landscape islands shall have 3" shredded hardwood mulch.
- Plants shall be disease free and without broken twigs or branches.
- Shrub beds shall have spaded edges.
- All plant material shall be guaranteed for one full growing season after installation.
- Planting specifications, other than those mentioned above shall conform with the American Standards for Nursery Stock, published by The American Association of Nurserymen.
- Only 12" low rise growth within all 12x12' site triangles, typical.

GROWING MEDIUM

- Three (3) foot minimum depth.
- Three-Six (3'-6") minimum inside clear width; greater than Five (5) feet is desirable.
- Soil Composition: 45-77% Silt, 0-25% Clay, 25-33% Sand.
- Soil Acidity: pH 6.0 to 7.0. Amend soil as required to achieve this pH range.
- Soil Organic Content: Three (3) to Five (5) percent.
- Parkway planters to be as long and as continuous as possible.
- Minimum Five (5) feet from the inside edge of the planter or tree pit to the last tree in any series or group of trees.
- Cuts and low railings to be installed around parkway planters throughout the "Greater Downtown", in commercial use areas, and in other heavy pedestrian traffic areas.
- Percolation testing to be done prior to installation of any plantings.
- Soil testing of existing soils to be done prior to installation of any plantings.
- Mechanical subsurface drainage required in areas with poor percolation and drainage rates.
- Groundcover and low shrub planting required instead of grass, bark or gravel mulch, or other non-live materials.
- "Structural Soil" (E.G. "Cornell" Mix, etc.) to a depth of Two foot Six (2'-6") inches and/or root paths required below sidewalk slabs between parkway planter and other planting areas or green spaces.
- When sidewalks are replaced, "Structural Soil" or root paths are required below sidewalk slabs to permit root growth beyond small pit or cut-out sidewalk.
- Root paths may be used to connect trees planted in parkways (the distance from the back of the curb to the edge of the right-of-way) to adjacent greenspace.

MAINTENANCE

- All required landscaping on private property to be maintained throughout the life of the project, obligation assumed by subsequent owners.
- All required landscaping within public right-of-way to be replaced, if needed, for a minimum of Five (5) years by the original applicant and any subsequent owners. Responsibility for replacement will be assumed after Five (5) years by the City of Chicago.
- Rainfall to be supplemented with water for a total rate of One (1) inch per week during the growing seasons for the first Three (3) years.
- Post public notice of landscape installation and maintenance requirements, in order to alert neighbors and concerned citizens to a project's landscape requirements.
- All required landscaping to be replaced throughout the life of the project, as required, obligation assumed by subsequent owners.

PLANT LIST

Tag	Botanical Name	Common Name	Size	Root	Total
DECIDUOUS & ORNAMENTAL TREES - Single & Multi. Stem					
FF	Fagus sylvatica 'Frans Fontaine'	Beech 'Frans Fontaine'	12"	B&B	-
AB	Amelanchier canadensis 'Autumn Brilliance'	Sorbusberry 'Autumn Brilliance'	8"	B&B	-
EA	Ulmus carpinifolia 'Acolade'	Elm 'Acolade'	3" caliper	B&B	-
RB	Cercis canadensis	Redbud	9"	B&B	-
SM	Acer saccharinum	Silver Maple	30"	B&B	-
HL	Gleditsia triacanthos var. inermis 'Street Keeper'	Honey Locust 'Street Keeper'	3" caliper	B&B	-
SHRUBS					
BW	Buxus 'Green Velvet'	Boxwood 'Green Velvet' hedge	18"	C	-
LG	Liriodie	Liriodie groundcover	9"	C	-
GV	Buxus 'Green Velvet'	Boxwood 'Green Velvet' hedge	18"	C	-
HY	Hydrangea arborescens 'Incrediball'	Hydrangea 'Incrediball'	5 gallon	C	-
YE	Taxus media 'Everlow'	Yew 'Everlow'	24"	C	-
GL	Rhus aromatica 'Grow Low'	Sumac 'Grow Low'	5 gallon	C	-
MK	Syringa patula 'Miss Kim'	Lilac 'Miss Kim'	36"	C	-

B&B = Balled and Burlapped
C = Containerized

Plant Notes:
1. Landscape contractor shall verify final plant selections and count with owner prior to ordering and installation.
2. Landscape contractor shall submit detailed planting plan for owner review & approval prior to work.
3. Landscape contractor shall submit irrigation plan for owner review & approval prior to work.

Sheet List

Number	Name
A001	Site Plan
A001.1	DRB Graphics
A001.2	Renderings
A001.3	Materials
A001.4	Materials
A002	Area Plans
A100	Basement Plan
A101	First Floor Plan
A102	Second Floor Plan
A103	Roof Plan
A201	South Elevation
A202	North Elevation
A203	West Elevation
A204	East Elevation
A301	Building Section
A302	Building Section
A303	Building Section

Area Schedule (for FAR)

Name	Area
Level 1	
Covered Entry	72 SF
Elevator	79 SF
Lobby	80 SF
Stair	135 SF
Unit 1	1690 SF
Unit 2	1698 SF
3755 SF	
Level 2	
Covered Entry	57 SF
Elevator	79 SF
Lobby	81 SF
Stair	151 SF
Unit 3	1690 SF
Unit 4	1694 SF
3753 SF	
Roof	320 SF
Attic	320 SF
7828 SF	

ISSUE DATES

Date	Description
12/7/21	Issued for Zoning Variation
1/11/22	Issued for DRB

FIORAMO TALISMA ARCHITECTURE

1765 N Elston Ave., #226, Chicago, IL 60642 info@fioramotalisma.com
 These drawings are the property of FIORAMO TALISMA, Inc. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FIORAMO TALISMA, Inc. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Issue Dates

Date	Description
12/7/2021 3:57:03 PM	

Project Name:
 Cherry / Linden Homes
 455 Linden Street, Winnetka
 Owner:

Site Plan



6 465-477 Linden
Not to Scale



5 760 Cherry
Not to Scale



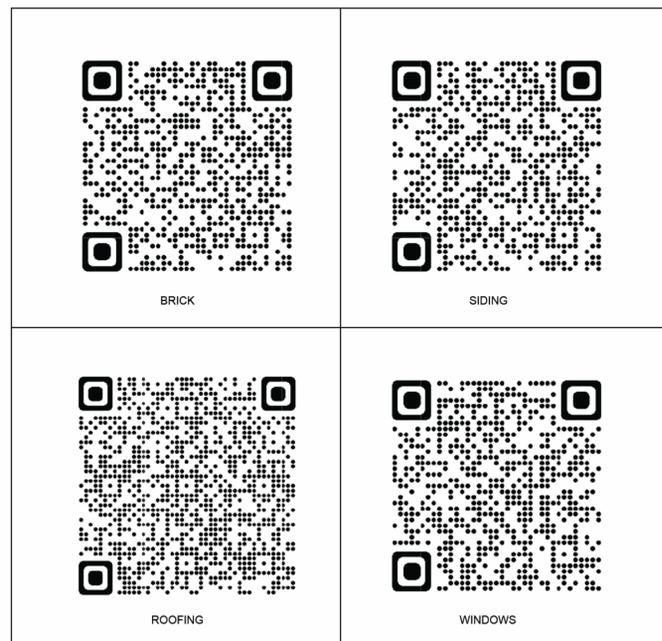
4 770 Cherry
Not to Scale



3 458 Linden
Not to Scale



2 Cherry Street
1 : 70



1 Linden Street
1 : 70

455 Linden Design Approach:

The proposed structure at the Northeast corner of Cherry and Linden is a combination of modern and traditional ideas about architecture as well as being a thoughtful neighbor. 9 parking spaces are required for the allowed 4 dwelling units on this 10,000 SF parcel. All proposed parking is hidden from view with the garage entirely below grade. Parts of the garage extend into the required setbacks and have been topped with raised planting beds which provide a gentle transition between the landscape and the building.

The material palette includes a composition of durable and natural materials that will and have endured for decades or more; pre-stained cedar siding, limestone cladding, and metal roofs have been employed on the farmhouse for centuries.

This particular building combines these time tested materials with modern ideas about how they are utilized and includes, simple, low-maintenance details with some clever combinations that will create a few unique experiences in Winnetka.

2	12/7/21	Issued for Zoning Variation
1	11/17/21	Issued for DRB
#	Date	Description

ISSUE DATES

FILORAMO TALISMA ARCHITECTURE

1765 N Elston Ave., #220, Chicago, IL 60642 info@filoramotalisma.com
These drawings are the property of FILORAMO TALISMA, LLC. Use of these drawings is limited to a specified project for persons herein and for the project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TALISMA, LLC. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Print Date: 12/7/2021 3:57:39 PM

Project Name:

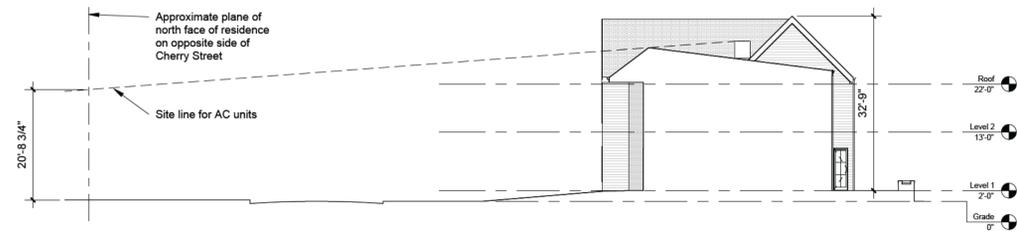
Cherry / Linden Homes

455 Linden Street, Winnetka

Owner:

DRB Graphics

A001.1



4 Lateral Building Section (N/S)2
1/16" = 1'-0"



3 Rendered view from Southwest
12" = 1'-0"



2 Rendered view from Southeast
12" = 1'-0"



1 Rendered view from South
12" = 1'-0"

2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB
#	Date	Description

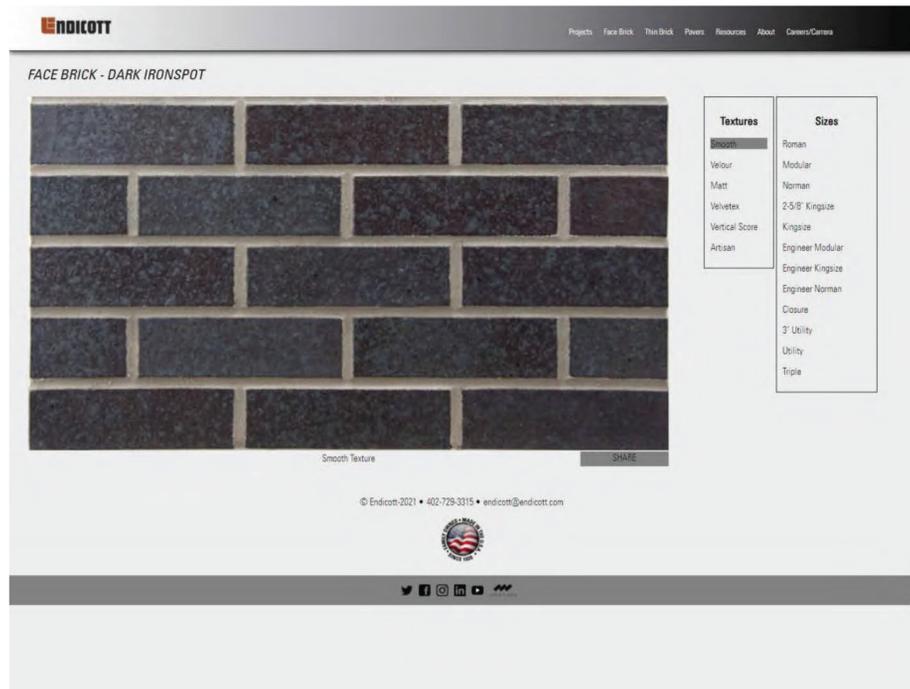
ISSUE DATES

FILORAMO TAL SMA
ARCHITECTURE

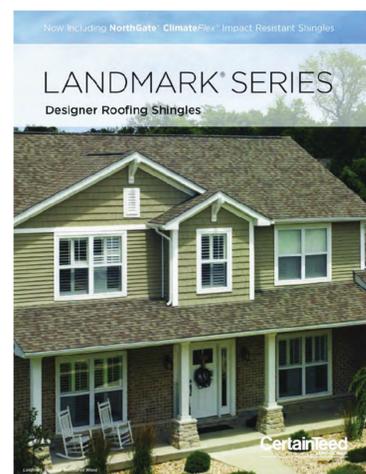
1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramtalsma.com
These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for the project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Print Date:	12/7/2021 3:57:42 PM
Project Name:	Cherry / Linden Homes 455 Linden Street, Winnetka
Owner:	
Issue Date:	

Renderings



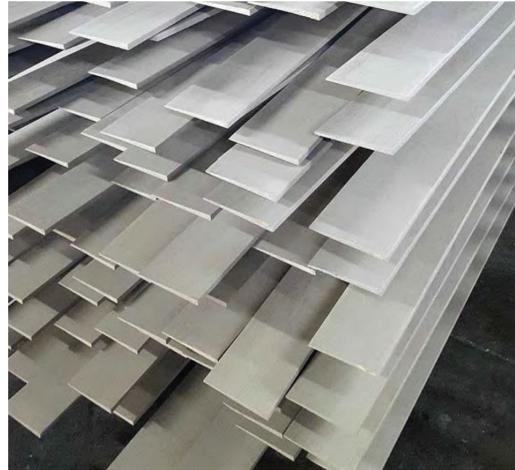
2 Brick
6" = 1'-0"



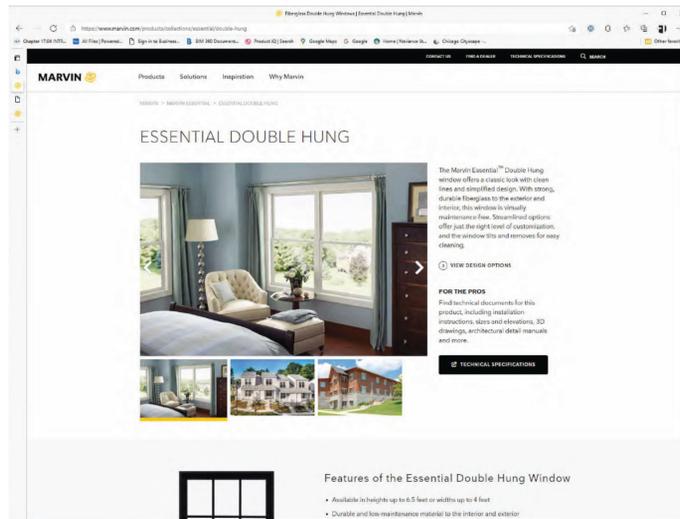
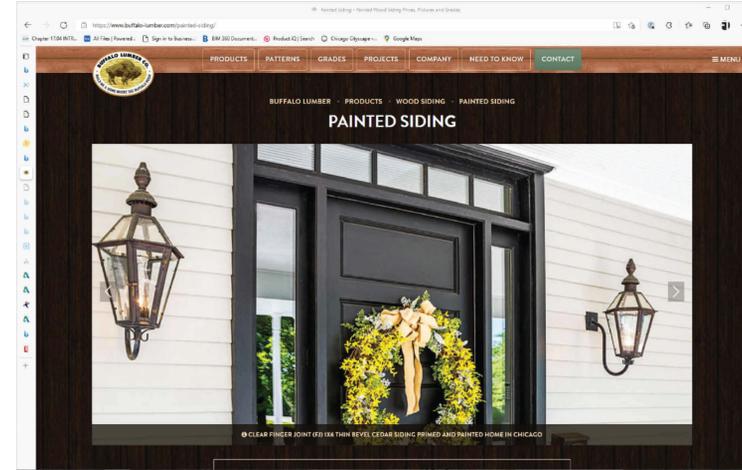
1 Roof Materials
6" = 1'-0"



12/7/21 Issued for Zoning Variation		
11/17/21 Issued for DRB		
#	Date	Description
ISSUE DATES		
FILORAMO TALISMA ARCHITECTURE		
1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com		
These drawings are the property of FILORAMO TALISMA, LLC. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TALISMA, LLC. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.		
Print Date: 12/7/2021 3:57:44 PM		
Project Name:		
Cherry / Linden Homes		
455 Linden Street, Winnetka		
Owner:		
Materials		
A001.3		

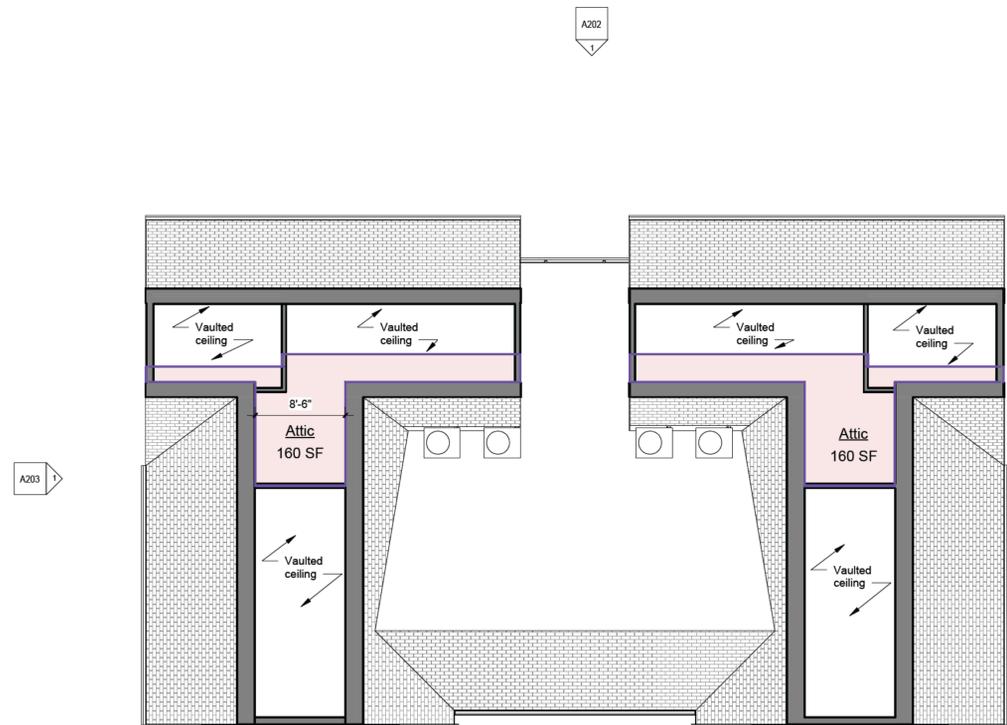


1 Wood Siding
6" = 1'-0"



2 Windows
6" = 1'-0"

2	12/7/21 Issued for Zoning Variation	
1	11/7/21 Issued for DRB	
#	Date	Description
ISSUE DATES		
FILORAMO TALSMIA ARCHITECTURE		
1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com		
<small>These drawings are the property of FILORAMO TALSMIA, Inc. Use of these drawings is limited to a specified project for persons herein and for the project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TALSMIA, Inc. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.</small>		
		Issue Date
Print Date: 12/7/2021 3:57:45 PM		
Project Name:		
Cherry / Linden Homes		
455 Linden Street, Winnetka		
Owner:		
Materials		
A001.4		



4 Roof
1/8" = 1'-0"



3 Level 2
1/8" = 1'-0"



2 Level 1
1/8" = 1'-0"



1 Basement
1/8" = 1'-0"

Area Schedule (Gross Building)	
Name	Area
Basement	
Common	488 SF
Elevator	76 SF
Garage	4036 SF
Stair	133 SF
	4733 SF
Level 1	
Covered Entry	72 SF
Elevator	79 SF
Lobby	80 SF
Stair	135 SF
Unit 1	1690 SF
Unit 2	1698 SF
	3755 SF
Level 2	
Covered Entry	57 SF
Elevator	79 SF
Lobby	81 SF
Stair	151 SF
Unit 3	1690 SF
Unit 4	1694 SF
	3753 SF
	12241 SF

EGRESS NOTE:

PER 2015 IBC
1003.3.2
Single Exits are permissible for floors up to 3rd story with fewer than 4 Dwelling Units

#	Date	Description
2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB

FILORAMO TAL SMA
ARCHITECTURE

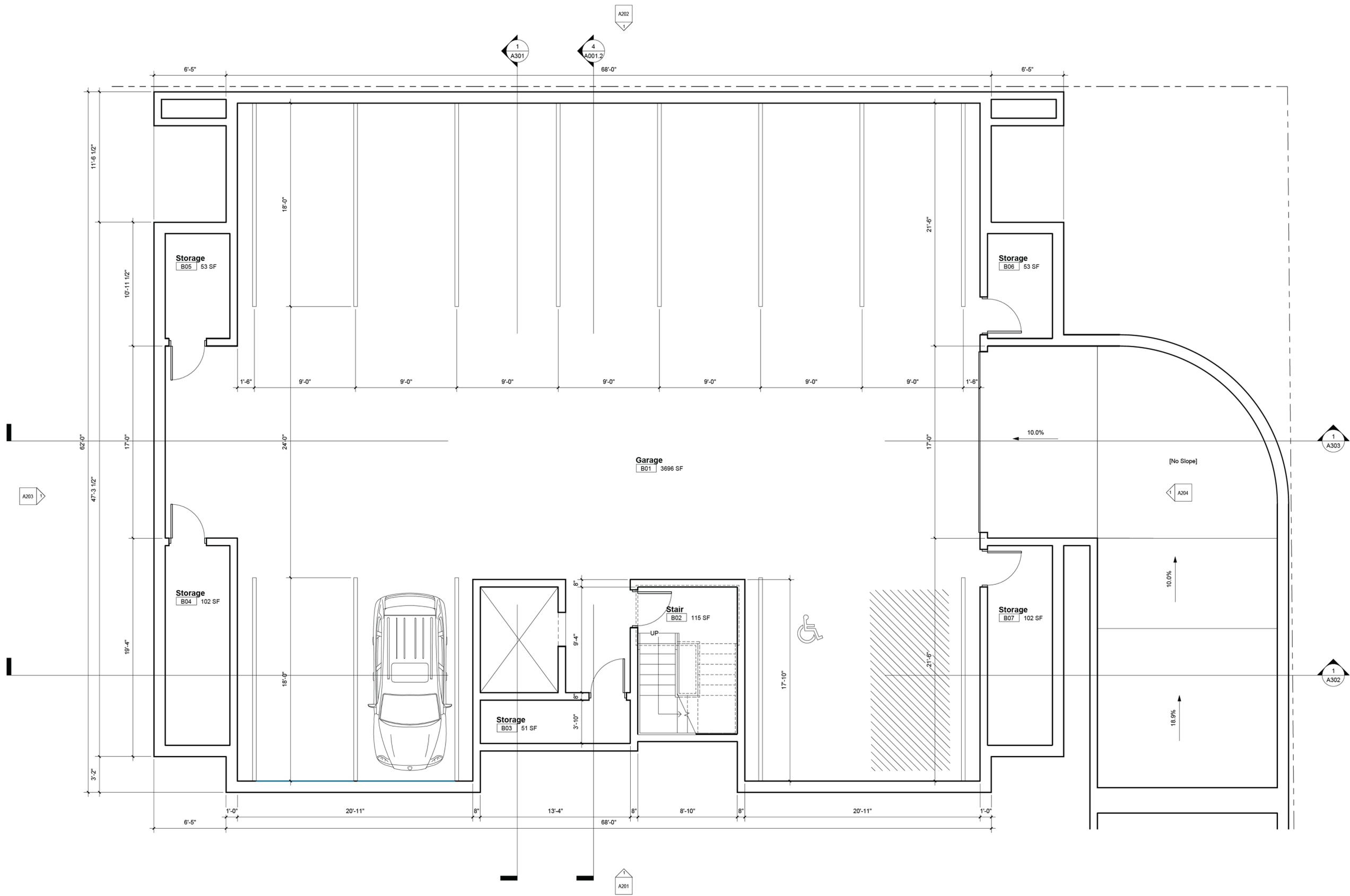
1765 N Elston Ave., #220, Chicago, IL 60642 info@filoramotalisma.com
These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions prevail over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Print Date: 12/7/2021 3:57:48 PM

Project Name:
Cherry / Linden Homes
455 Linden Street, Winnetka

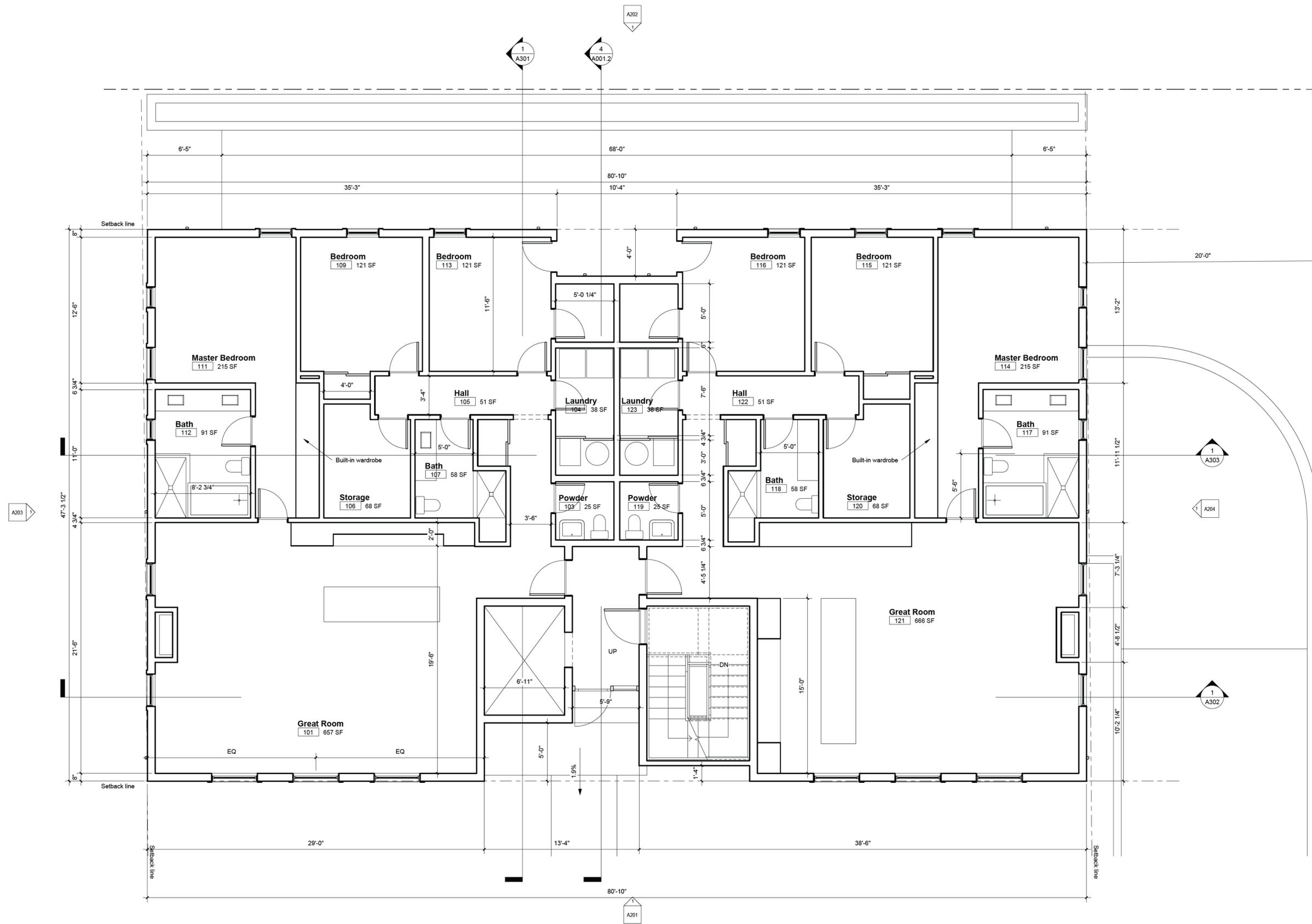
Owner:

Area Plans



2/12/21 Issued for Zoning Variation	
1/11/21 Issued for DRB	
Date	Description
ISSUE DATES	
FILORAMO TAL SMA ARCHITECTURE	
1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com	
<small>These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.</small>	
<small>Print Date: 12/7/2021 3:57:49 PM</small> <small>Project Name:</small> Cherry / Linden Homes <small>455 Linden Street, Winnetka</small> <small>Owner:</small> <small>Basement Plan</small>	
A100	

1 Basement
1/4" = 1'-0"



1 Level 1
1/4" = 1'-0"

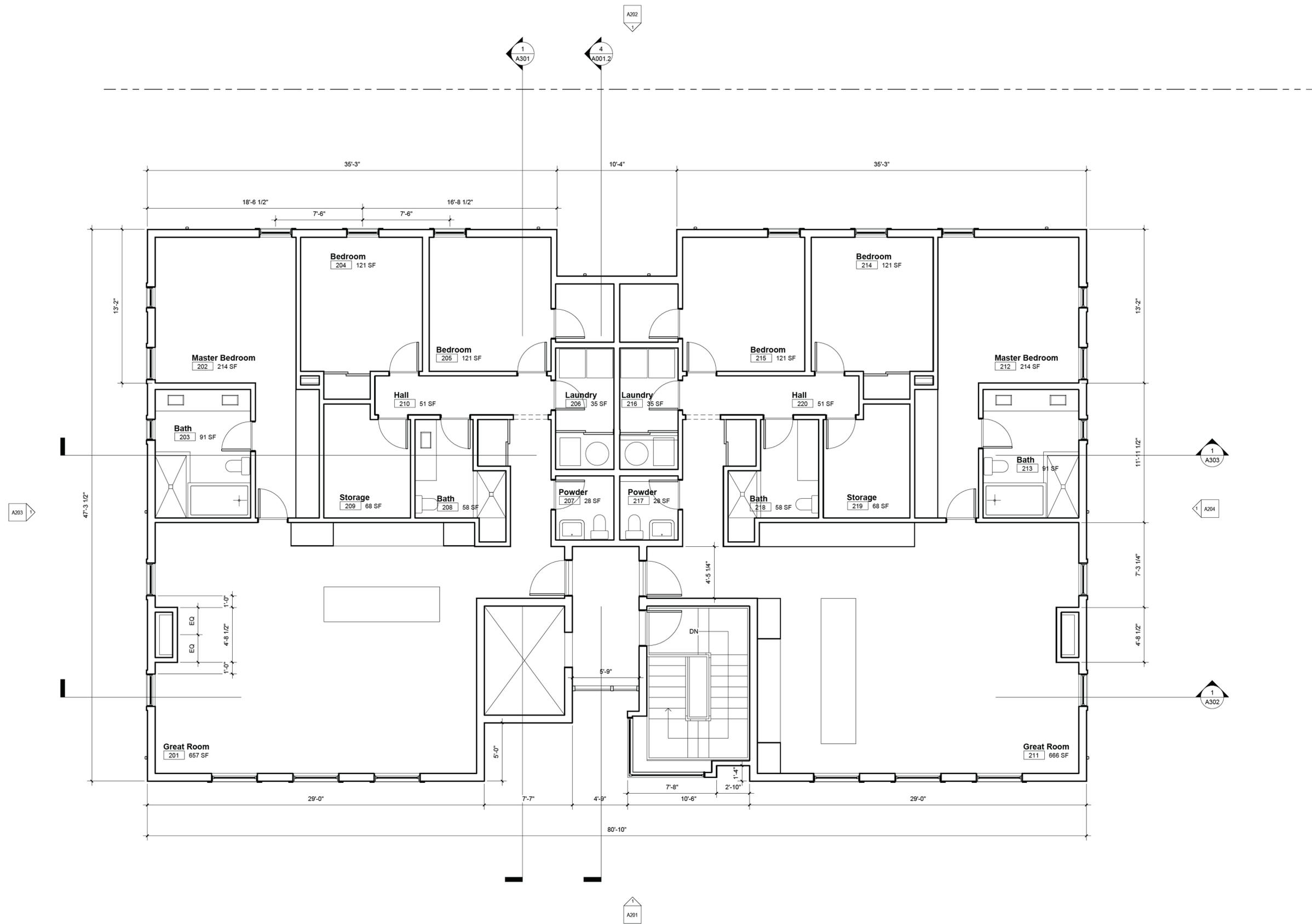
#	Date	Description
2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB

FILORAMO TAL SMA
ARCHITECTURE

1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com
These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Print Date: 12/7/2021 3:57:50 PM
Project Name:
Cherry / Linden Homes
455 Linden Street, Winnetka

Owner:
First Floor Plan



1 Level 2
1/4" = 1'-0"

#	Date	Description
2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB

ISSUE DATES

FILORAMO TAL SMA
ARCHITECTURE

1765 N Elston Ave., #220, Chicago, IL 60642 info@filoramotalisma.com
 These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions prevail over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Print Date: 12/7/2021 3:57:51 PM

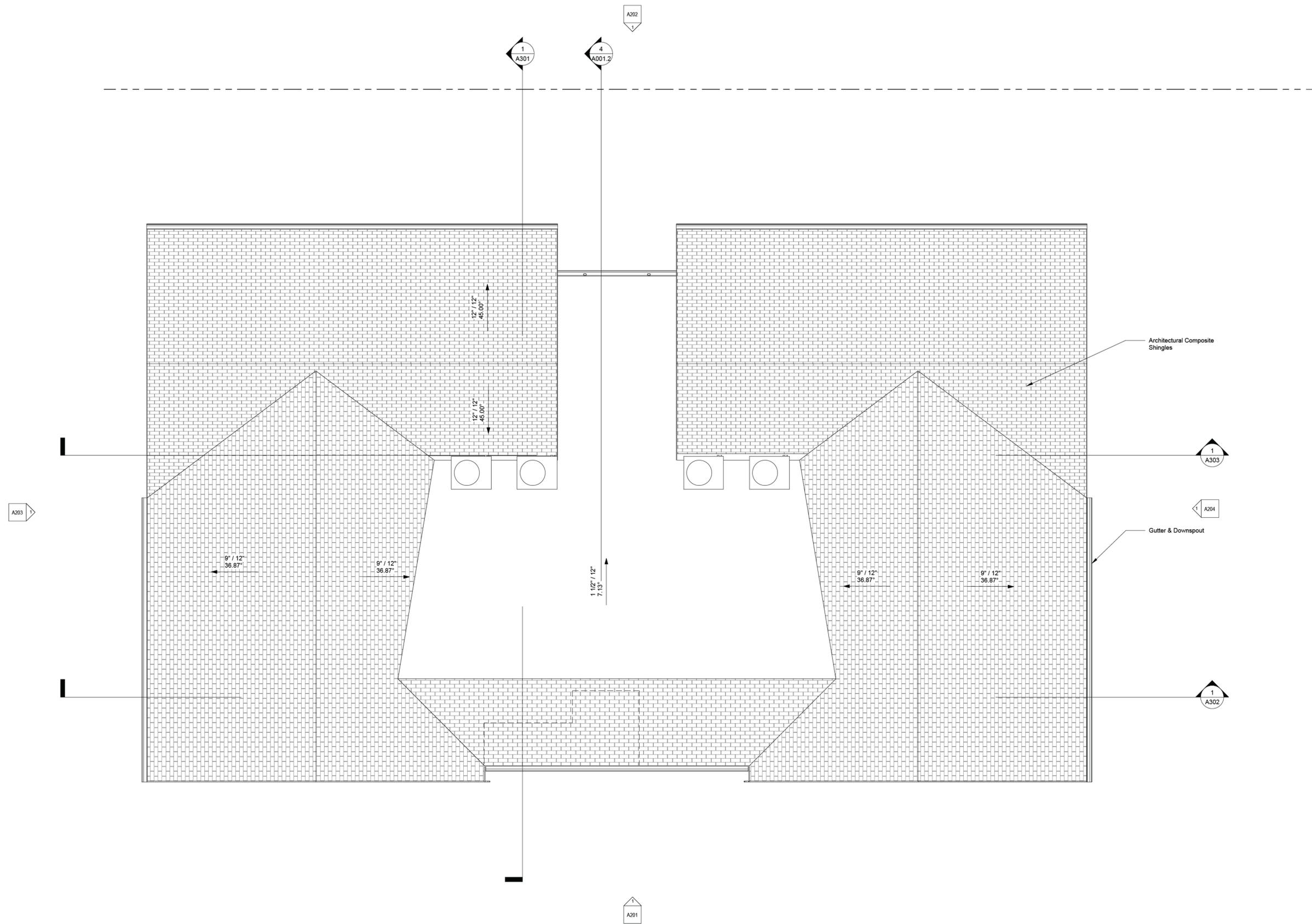
Project Name:

Cherry / Linden Homes
455 Linden Street, Winnetka

Owner:

Second Floor Plan

A102



1 Roof
1/4" = 1'-0"

Architectural Composite Shingles

Gutter & Downspout

2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB
#	Date	Description
ISSUE DATES		

FILORAMO TALISMA
ARCHITECTURE

1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com
 These drawings are the property of FILORAMO TALISMA, Inc. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TALISMA, Inc. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Print Date: 12/7/2021 3:57:52 PM

Project Name:

Cherry / Linden Homes
455 Linden Street, Winnetka

Owner:

Roof Plan

A103



1 South Elevation
1/4" = 1'-0"

- Certainteed Landmark Series Shingles in Moire Black
https://www.certainteed.com/resources/Landmark%20Series%20Brochure_CTR20-20-1886REV_2101.pdf
- Black Kynar finished sheet metal to match windows
- Marvin Essential Double Hung windows in Ebony.
<https://www.marvin.com/products/collections/essential/double-hung>
- Modular face brick by Belden in Dark Ironspot color
<https://www.endicott.com/colors.html>
- Pre-painted 1x6 cedar clapboard siding in White
<https://www.buffalo-lumber.com/painted-siding/>

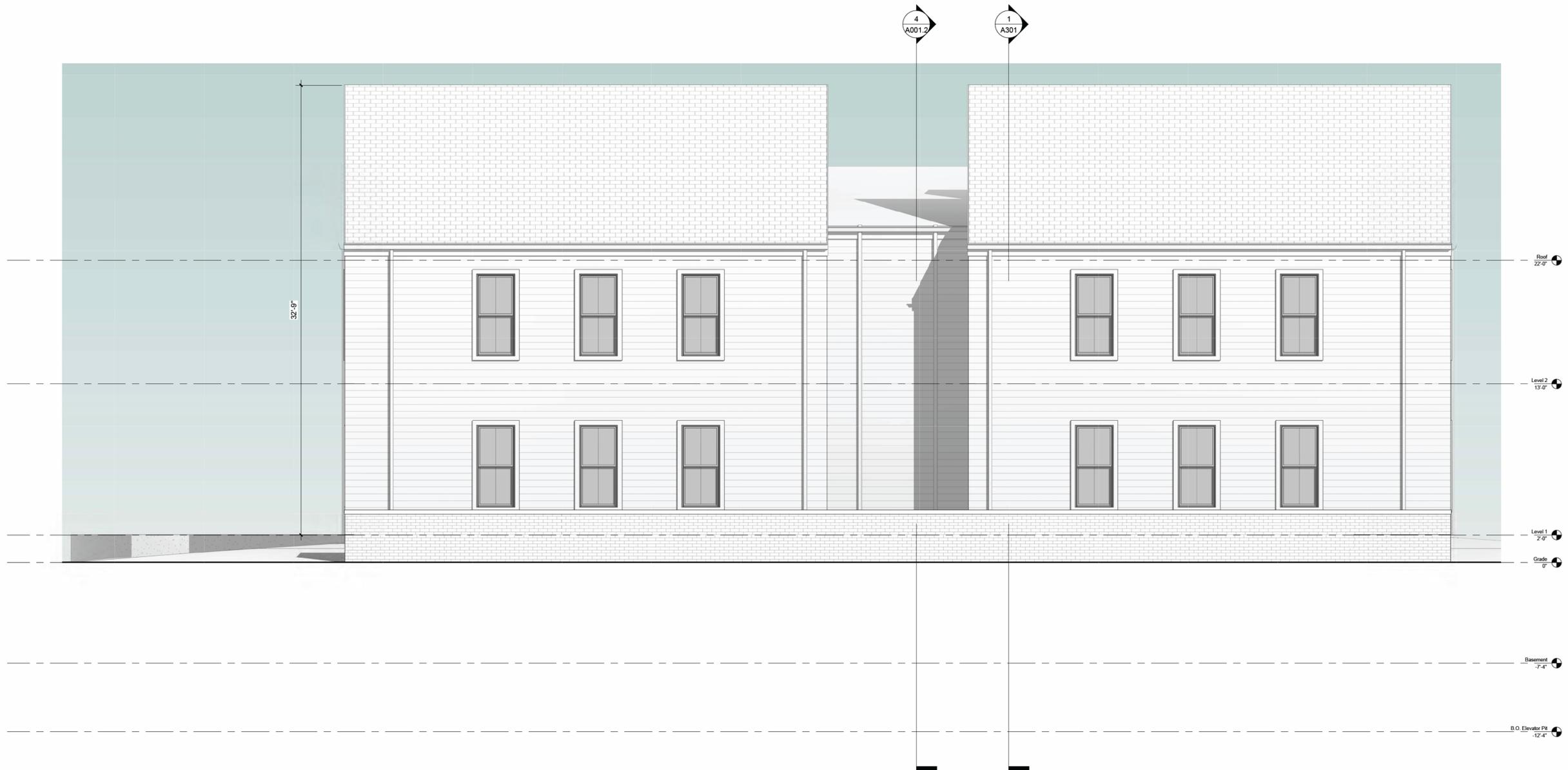
Roof 22'-0"
Level 2 13'-0"
Level 1 2'-0"
Grade 0'-0"
Basement -7'-4"
B.O. Elevator Pit -12'-4"

#	Date	Description
2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB

FILORAMO TAL SMA
ARCHITECTURE

1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalma.com
 These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for the project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Print Date: 12/7/2021 3:58:40 PM
 Project Name:
Cherry / Linden Homes
 455 Linden Street, Winnetka
 Owner:



1 North Elevation
1/4" = 1'-0"

#	Date	Description
2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB

FILORAMO TAL SMA
ARCHITECTURE

1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com
 These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Print Date:	Issue Date:
12/7/2021 3:59:28 PM	

Project Name:
Cherry / Linden Homes
 455 Linden Street, Winnetka
 Owner:



1 West Elevation
1/4" = 1'-0"

#	Date	Description
2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB

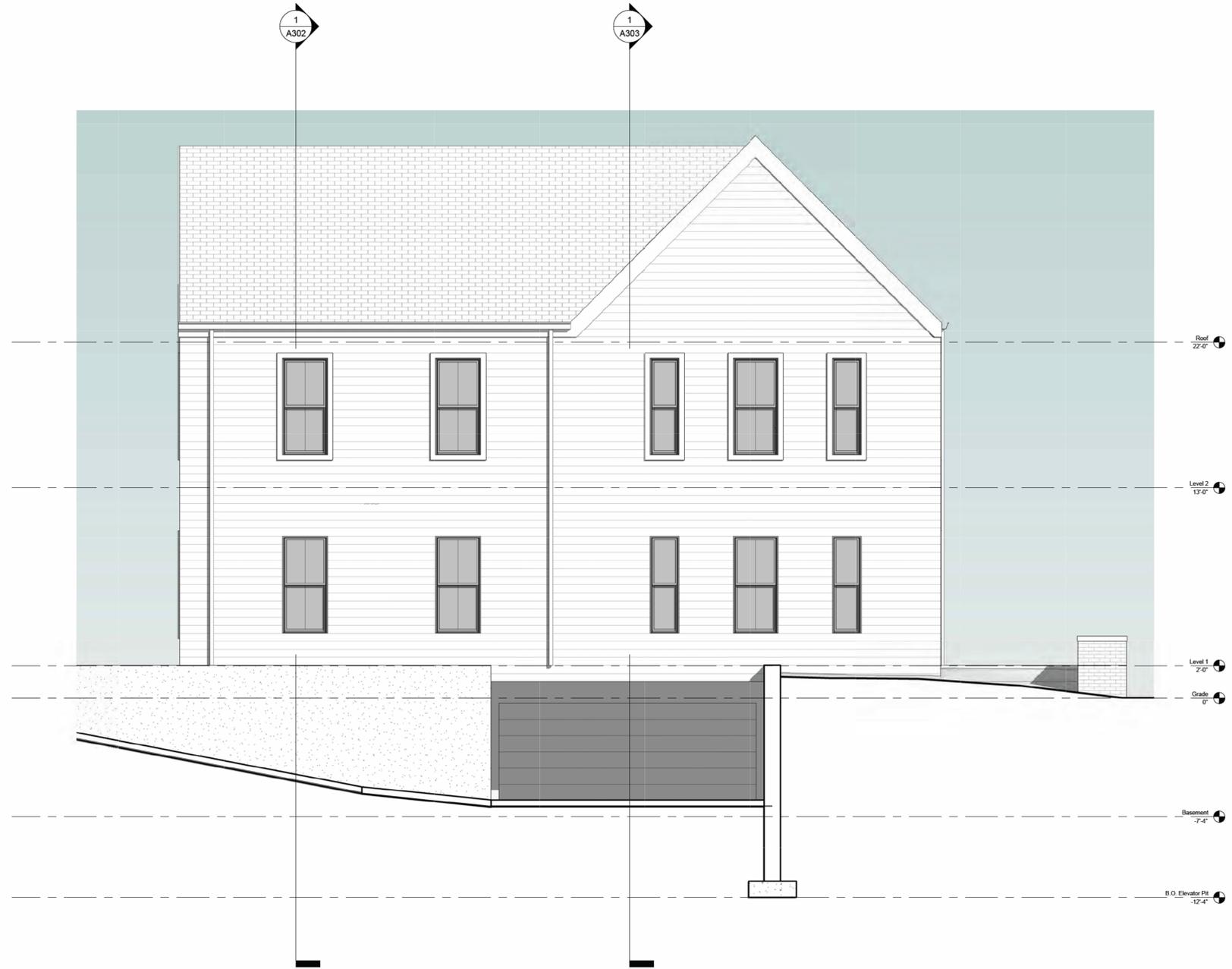
FILORAMO TAL SMA
ARCHITECTURE

1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com
 These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for the project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Print Date:	12/7/2021 4:00:08 PM
Project Name:	Cherry / Linden Homes
Owner:	

Cherry / Linden Homes
 455 Linden Street, Winnetka

West Elevation



1 East Elevation
1/4" = 1'-0"

#	Date	Description
2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB

ISSUE DATES

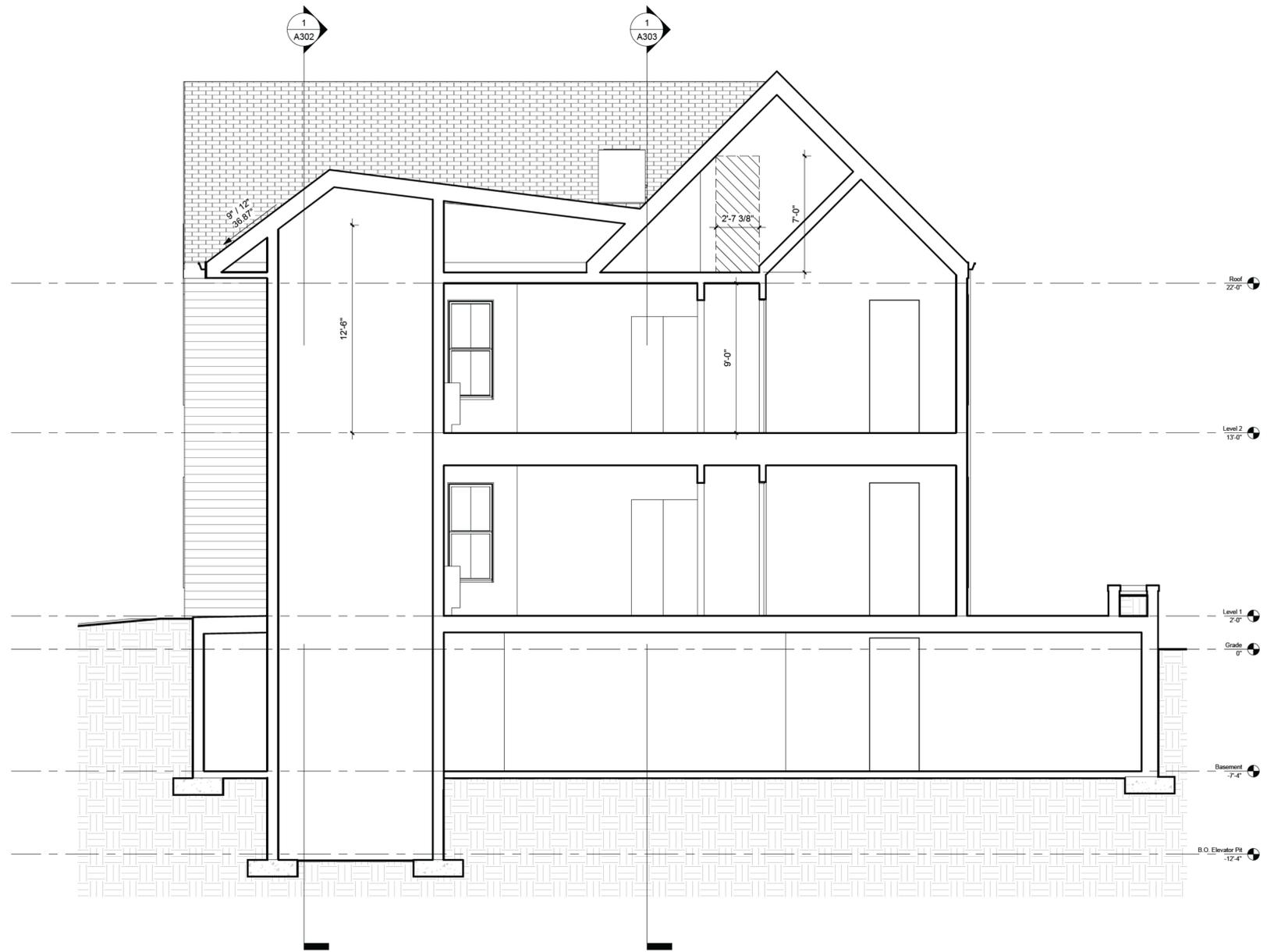
FILORAMO TALSMIA ARCHITECTURE

1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com
 These drawings are the property of FILORAMO TALSMIA, Inc. Use of these drawings is limited to a specified project for persons herein and for the project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TALSMIA, Inc. Do not scale drawings. Written dimensions provide over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Issue Date

Print Date: 12/7/2021 4:00:47 PM
 Project Name:
Cherry / Linden Homes
 455 Linden Street, Winnetka
 Owner:

East Elevation
A204



1 Lateral Building Section (N/S)
1/4" = 1'-0"

#	Date	Description
2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB

FILORAMO TAL SMA
ARCHITECTURE

1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com
 These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions prevail over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Issue Date

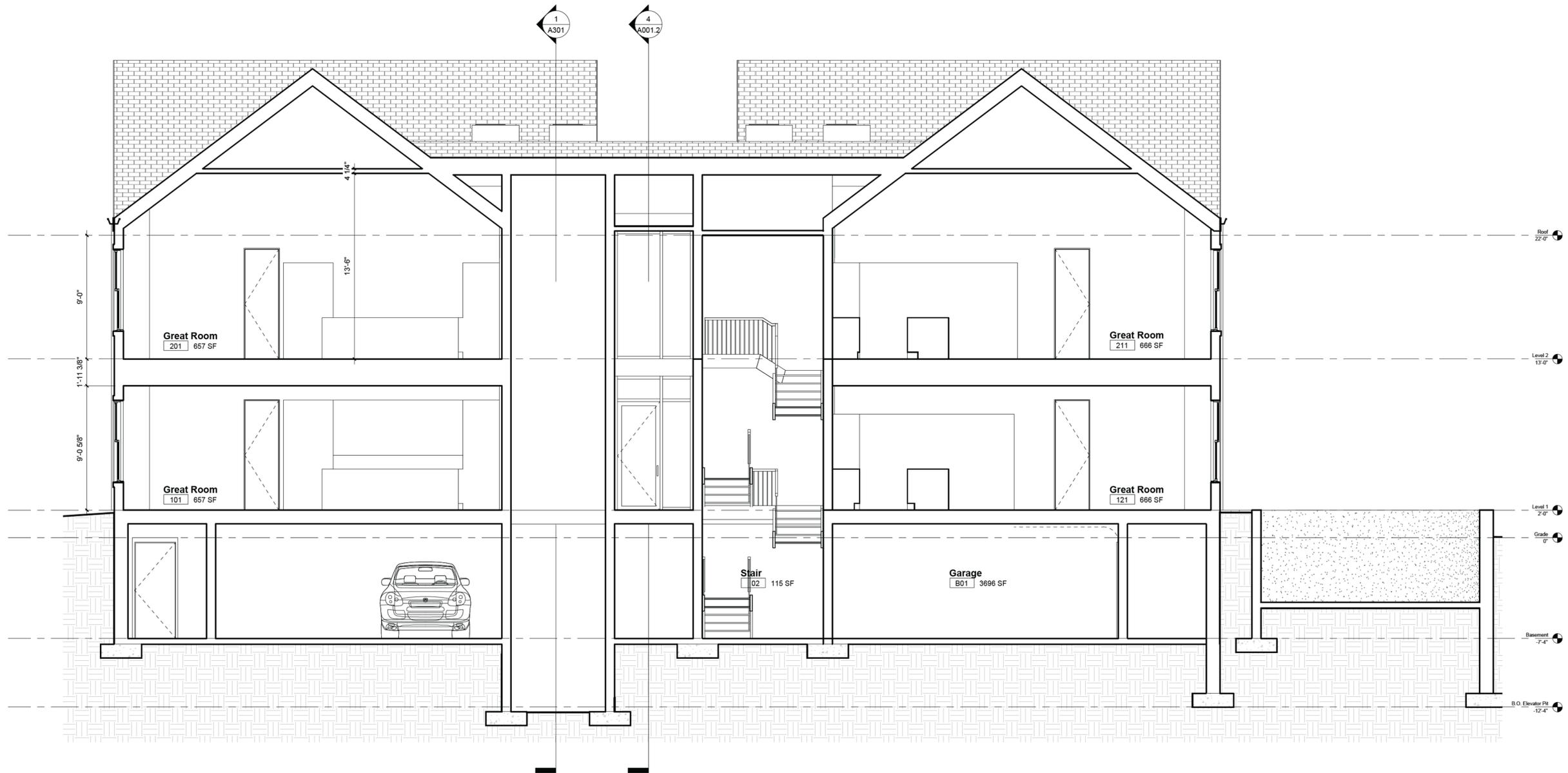
Print Date: 12/7/2021 4:00:48 PM

Project Name:
Cherry / Linden Homes
455 Linden Street, Winnetka

Owner:

Building Section

A301



1 Longitudinal Section
1/4" = 1'-0"

Date	Description
2/12/21	Issued for Zoning Variation
1/11/21	Issued for DRB

ISSUE DATES

FILORAMO TAL SMA
ARCHITECTURE

1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com
 These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions prevail over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Issue Date

Print Date: 12/7/2021 4:00:49 PM

Project Name:

Cherry / Linden Homes
 455 Linden Street, Winnetka

Owner:

Building Section

A302



1 Longitudinal Section
1/4" = 1'-0"

#	Date	Description
2	12/7/21	Issued for Zoning Variation
1	11/7/21	Issued for DRB

ISSUE DATES

FILORAMO TAL SMA
ARCHITECTURE

1765 N Elston Ave., #226, Chicago, IL 60642 info@filoramotalisma.com
 These drawings are the property of FILORAMO TAL SMA, Inc. Use of these drawings is limited to a specified project for persons herein and for this project only. These drawings are not to be reproduced, changed or copied in any form or manner whatsoever, nor are they to be assigned to any third party, without the written consent of FILORAMO TAL SMA, Inc. Do not scale drawings. Written dimensions prevail over scale. These drawings may have been reproduced at a size different than originally drawn. Owner and Architect assume no responsibility for use of incorrect scale.

Issue Date

Print Date: 12/7/2021 4:00:49 PM
 Project Name:
Cherry / Linden Homes
 455 Linden Street, Winnetka
 Owner:

Building Section

A303

Attachment C – Photographs of Area Properties



761 Cherry Street (multi-family residence to east)



465-477 Linden Street (multi-family buildings to north)



458 Linden Street (single family home to west)



770 Cherry Street (single family home to south)



788 Cherry Street (single family home to southwest)



745-751 Cherry Street (townhomes to east)



466-476 Linden Street (townhomes to northwest)

ATTACHMENT D

From: [REDACTED]
To: [Planning](#)
Subject: Fwd: Re Case no 21-17-DR /455 Linden
Date: Friday, July 9, 2021 10:21:49 AM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Approved letter (edited) below thank you !!

Sent from my iPhone

Begin forwarded message:

From: "Gallagher, Maureen" [REDACTED] >
Date: July 8, 2021 at 4:09:23 PM CDT
To: "planning@winnetka.org" <planning@winnetka.org>
Subject: Re Case no 21-17-DR /455 Linden

Hello !

I am owner of SF at corner of Linden & Cherry directly across from proposed 4 unit multi family. (770 Cherry St .)
I received your letter and wanted to comment.
I am a Real Estate Broker with Coldwell Banker .
My major concerns re Design and Density .
The proposed design is not attractive and does not fit well with the neighborhood .
There is no brick at all and does not match or blend in with other townhomes in the neighborhood . (Ie Brick townhomes across from library , brick townhomes beside the library or the brick townhomes just east of subject property at Cherry & Green Bay .)

My concerns :

- 1) adverse effect on property value of my home at 770 Cherry St . (and other homes in the neighborhood) .
- 2) Design is not aesthetically pleasing in its current state . Too much siding , looks too commercial Ie like a large shed or warehouse

The asymmetric design of roofline is one of the major detracting features . I showed the Design to 3 family members who do not reside in my household and they all agreed it did not fit in with architecture in the neighborhood and they did not like the design at all.

I think a more traditional design akin to the

Townhomes across from library would be a better and more appropriate design for the Neighborhood & for Winnetka .

3) Density for this corner . It's a busy corner with traffic & parking is always tight on Cherry St

in front of my house . Between the Library and Church there is already high density

and could be very crowded at the stop sign, especially on Cherry & Linden but also on Cherry & Green Bay , leading to congestion

and possible car accidents.

Also with underground garage proposed it is likely lengthy construction and if there are any issues or construction delays could become an eyesore and remain 1/2 finished for quite a long period of time, creating a danger as well (Ie gaping hole in the ground or 1/2 finished garage and potential danger for children .)

There are just too many other townhomes in this quadrant (3 others) and this one doesn't match or fit in with any of them . The others are all brick & attractive & charming .

With all due respect ; the proposed design lacks character & charm in my opinion

.

Also the other 3 corners feature single family homes and this corner should arguably be Single Family . (even though it is supposed to be a 2 unit multi family at present it looks like a single family).

I think it is important to keep the continuity of architecture & design in the Community .

Conclusion: this is Not an Appropriate property for this location . Single family much preferred .

Or townhome with more traditional brick elements and design .

Thanks so much for hearing my comments ,

Maureen Gallagher
770 Cherry St
Winnetka , IL
60093

***Also what is estimated construction timeline duration of project & how much do they plan on selling units for and how many cars will be parking in the garage . The entrance appears

directly across the street from my driveway and as it is ,it is often difficult to pull out of my drive with traffic at the four way stop at Cherry & Linden . My neighbor to East in the same boat . Adding 8-20 cars coming in and out of a garage so close to the four way stop could really be a challenge in my opinion .

Sent from my iPhone

***Wire Fraud is Real*. Before wiring any money, call the intended recipient at a number you know is valid to confirm the instructions.** Additionally, please note that the sender does not have authority to bind a party to a real estate contract via written or verbal communication.

Margaret K. Carton
476 Linden Street
Winnetka, Illinois 60093



Design Review Board
Village of Winnetka
Winnetka, Illinois 60093

To Whom it May Concern:

I am writing in regard to the proposed multi-family residential building and landscape at 455 Linden in Winnetka.

As a neighbor and Winnetka resident, I have reviewed the proposal and have several comments.

1. The A001 site map graphically depicts the relationship between the proposed building and adjacent structures. In all instances, the proposed building extends beyond the established setbacks of its neighbors. The result is a bulky structure which seems inconsistent and incompatible with the established residential nature and character of the neighborhood. Further, it appears to loom over Cherry Street.
2. The elevation of the proposed building depicted on sheet A001.1 shows it dwarfing the adjacent structures. The raised beds exacerbate the problem. The project seems overbuilt on the site and lacks a respect for the site.
3. The 2' raised beds, necessary to accommodate the underground parking, are at odds with the residential character of the neighborhood and contribute to the bulky massing of the proposed project.
4. Although not directly the purview of the DRB, the variances necessary for the completion of this project - namely the raised beds - contribute to the visual and actual overbuilding of the site. While I understand that the site is zoned B1 to accommodate a multi-family project, I would suggest that the construction of four three bedroom + den apartments with underground parking is inappropriate on a corner lot of approximately 9,952 square feet. The requisite raised beds, screening the underground parking, are still building components. Zoning regulations and constraints are codified for many reasons - one being to maintain the character of a neighborhood or area.
5. While I understand that taste is relative, I would argue that the design of the project and materials, specifically the use of a standing seam metal roof and raised beds are inconsistent with the neighborhood and village design guidelines.

Sincerely,

Margaret Carton
Registered Architect

November 14, 2021

Margaret K. Carton
476 Linden
Winnetka, Illinois 60093

Design Review Board
Village of Winnetka
Winnetka, Illinois. 60093

To Whom it May Concern:

I am writing, again, in regard to the proposed multi-family project at 455 Linden, Winnetka.

As a neighbor and Winnetka resident, I have reviewed the most recent proposal and have several comments.

1. Rendering 1 on A001.2 entitled "rendered view from south" incorrectly depicts the proposed building. The rendering fails to show the rear gable roof which is taller than the front gable and extends beyond the entry recess-see figures 1c, 6c and drawing 2.
2. Many of the drawings show the building obscured by trees. While it may be accurate that there will be seasonal vegetation around the building, it makes evaluating the proposed project difficult.
3. Some important information appears to be missing from the drawings which make it hard to comment on its appropriateness in the neighborhood:
 1. The height of the wall at the north face of the terrace
 2. The materials at the entry - specifically on page A201 - specs on windows used at the entry face and on the "cantilevered bay feature on the stairway."
4. The entry recess seems small and tight.
5. Is 17' adequate for a turning radius to access the garage?
6. Does the proposed building have any overhangs? Are there vents for the fireplaces? The height of the bottom of the "cantilevered bay feature"?

While I appreciate the steps the applicant has made to make the project more sympathetic to the site and the neighborhood, I still question the massing of the building, the requisite +2' elevation necessary to accommodate the parking structure, and the awkward rear roof. I feel that the proposed project continues to dwarf the adjacent buildings.

Sincerely,

Margaret K. Carton